

GENERAL NOTES / SPECIFICATIONS:

- ALL INTERNAL DOOR HARDWARE TO BE COMMERCIAL QUALITY SIMILAR TO EXISTING IN CURRENT BUILDING AND TO BE CONFIRMED BY OWNER AND ARCHITECT.
- THE BUILDING CODE, 2012 EDITION REG. 232/12 SHALL BE THE BASIS OF THE DESIGN AND CONSTRUCTION OF THIS STRUCTURE.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE PROJECT. THE ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
- GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF THE EXISTENCE OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR ORDINANCES OF REGULATORY AGENCIES.
- PROVIDE SHOP DRAWINGS AND SAMPLES FOR ALL MAJOR COMPONENTS. SUBMIT TO ARCHITECT FOR REVIEW.
- GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL ARRANGE FOR INSPECTIONS AS REQUIRED BY ALL APPLICABLE CODES AND REGULATIONS.
- THE ARCHITECT WILL NOT BE HELD RESPONSIBLE FOR ANY OMISSIONS TO, ERRORS PERTAINING TO, OR DEVIATIONS FROM THIS SET OF DRAWINGS DURING THE CONSTRUCTION PROCESS.
- ENSURE SITE CONDITIONS TO BE REPAIRED AS REQUIRED & CLEANED OF ALL DEBRIS FOLLOWING CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP THE ARCHITECT INFORMED OF THE WORK PROGRESS ON A REGULAR BASIS SO THAT INSPECTIONS MAY BE MADE.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT 1980, ONT. REG. 213/91.
- ALL INTERIOR COLOURS AND FINISHES FOR GYPSUM BOARD, WALL BASE, DOORS AND FRAMES, CARPET, R.S.F., TO BE CONFIRMED BY ARCHITECT AND OWNER.
- PATCH & MAKE GOOD ALL SURFACES AS REQUIRED FOR INSTALLATION OF MECHANICAL & ELECTRICAL WORK AS SHOWN ON DRAWINGS INCLUDING REMOVAL OF FIXTURES, FLOOR DEMOLITION & REPLACEMENT.
- ALL NEW & EXISTING WALLS AND PAINTED SURFACES TO RECEIVE NEW PRIMER AND TWO COATS OF FINISHING LATEX PAINT IN COLOURS TO BE SELECTED BY ARCHITECT.
- ALL NEW & EXISTING DRYWALL CEILING TO RECEIVE NEW PRIMER AND TWO COATS OF FINISHING FLAT LATEX PAINT IN COLOURS TO BE SELECTED BY ARCHITECT.
- ALL NEW HOLLOW METAL DOORS AND FRAMES TO RECEIVE NEW PRIMER AND TWO COATS OF FINISHING WATERBORNE ACRYLIC, SEMI-GLOSS ENAMEL PAINT IN COLOURS TO BE SELECTED BY ARCHITECT.
- PAINT PRODUCTS BY THE FOLLOWING MANUFACTURERS ARE ACCEPTABLE FOR USE ON THIS PROJECT: PPG / GLIDDEN & SHERWIN WILLIAMS.
- ALL COLOURS AND SELECTION OF SPECIFIED MATERIALS BY ARCHITECT.
- PATCH AND MAKE GOOD TO MATCH EXISTING CONDITIONS ALL LOCATIONS WHERE DEMOLITION / MODIFICATION OF EXISTING WALLS, FLOORS OR CEILINGS OCCUR.
- MECHANICAL AND ELECTRICAL CONTRACTORS TO REVIEW ARCHITECTURAL DRAWINGS FOR NOTES ON EXISTING ITEMS TO BE REMOVED OR RELOCATED IN ADDITION TO WORK SHOWN ON M & E DRAWINGS.
- FLOOR TRANSITIONS TYPICAL STAINLESS STEEL SCHLUTER TYPE TO PROVIDE SMOOTH REDUCTION FROM DIFFERENT MATERIAL THICKNESS AS REQUIRED. TYPICAL AT ALL FLOORING MATERIAL CHANGES. SEE NOTES ON DRAWING A5 AND SPECIFICATIONS.
- WHERE NEW WALL CONSTRUCTION MEETS EXISTING WALL CONSTRUCTION, GENERAL CONTRACTOR TO ENSURE ALL NEW WALL FINISHES RESULT IN A CLEAN AND SMOOTH TRANSITION WITH NO VISIBLE DEFECTS OR IRREGULARITIES. WALL SURFACE TO BE SKIM COATED IF REQUIRED FOR SMOOTH FINISH.
- WHERE ANY EXISTING AND / OR NEW MECHANICAL PIPES, DUCTS, ETC. PENETRATE WALLS, WALL FINISH IS TO BE CAREFULLY INSTALLED AROUND PENETRATION COMPLETE WITH CLEAN JOINTS AND FIRESTOPPING AND SMOKE SEALS AS REQUIRED TO MAINTAIN SEPARATION BETWEEN SPACES. ALL LOCATIONS MAY NOT BE SHOWN ON THESE ARCHITECTURAL DRAWINGS - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS AND FIELD VERIFY.
- INTERIOR CIRCULAR ALUMINUM COLUMN ENCLOSURES CALLED FOR ON ARCHITECTURAL DRAWINGS AND DETAILED ON DWG. A2 - DETAIL "F" TO BE 4mm ALUMINUM COMPOSITE PANELS BY ALPOCAL (OR APPROVED EQUAL) IN COLOUR TO BE SELECTED FROM STOCK COLOURS. SUPPLY AND INSTALL TO INCLUDE 16 GA. Z - GIRTS MOUNTED TO EXISTING STEEL COLUMNS AS REQUIRED.
- GRANITE COUNTERTOPS TO BE ARCHITECTURAL GRADE GRANITE IN MIN. THICKNESS OF 1 1/4" IN POLISHED FINISH AND COLOUR TO BE SELECTED BY ARCHITECT. CONTRACTOR TO PROVIDE SUFFICIENT SAMPLES OF GRANITE AS REQUIRED TO SHOW ANTICIPATED RANGE OF COLOUR AND NATURAL VARIATIONS IN GRAIN STRUCTURE. SHOP DRAWINGS TO BE SUBMITTED TO ARCHITECT FOR APPROVAL. GRANITE TO BE MANUFACTURED, FINISHED AND INSTALLED BY QUALIFIED FABRICATORS AND INSTALLERS WITH A MINIMUM OF 5 (FIVE) YEARS OF DOCUMENTED EXPERIENCE EACH. CUT AND DRILL SINK PROVISIONS AND HOLES IN STONE FOR ANCHORS, FASTENERS, SUPPORTS AND LIFTING DEVICES AS INDICATED AND AS REQUIRED TO SET STONE IN PLACE.
- WHERE ON ACCENT WALL ELEVATION 18 ON DWG. A3 & SECTION 35 ON DWG. A4 1/2" THICK SOUND ATTENUATION ACOUSTIC WALL PANELS ARE CALLED TO BE INSTALLED THE FOLLOWING DESCRIBES THE MATERIAL TO BE INSTALLED. 1/2" THICK ACOUSTIC WALL PANELS - COLOUR & STYLE BY CLIENT - (FROM MANUFACTURER'S STANDARD COLOUR SELECTION) SUPPLIED BY "HUSH ACOUSTICS" OF STONEMILL, MANITOBA (OR APPROVED EQUAL). ACOUSTICAL WALL PANELS TO BE ADHERED TO WALL W/ ADHESIVES AS RECOMMENDED BY ACOUSTICAL PANEL MANUFACTURER.
- WHERE CALLED FOR ON ARCHITECTURAL FLOOR PLANS BY WAY OF WALL TYPE (REFER TO WALL TYPE SCHEDULES AND PLANS ON DRAWINGS A1 AND REFERENCED TO CORRESPONDING INTERIOR ELEVATIONS IN THE ARCHITECTURAL TENDER DRAWING PACKAGE, WALLS ARE TO BE FINISHED USING "KOROSEAL REATEC" ARCHITECTURAL FILM. WHERE THIS PRODUCT IS CALLED TO BE INSTALLED OVER TOP OF GYPSUM BOARD, THE GYPSUM BOARD IS TO BE FINISHED TO A LEVEL 5 FINISH AND COMPLETELY SEALED WITH TWO (2) COATS OF PRIMER CONTAINING 100% ACRYLIC SOLIDS PRIOR TO THE INSTALLATION OF THE KOROSEAL PRODUCT. THE KOROSEAL IS TO BE INSTALLED BY AN EXPERIENCED INSTALLER WITH DOCUMENTED EXPERIENCE OF A MINIMUM OF FIVE (5) YEARS. CLEAN SEAMS ARE TO BE ACHIEVED BY OVERLAPPING THE KOROSEAL PRODUCT, DOUBLE CUTTING AND PRIMING AT THE SEAM WITH A 3M 94 ADHESIVE PROMOTING PRIMER WHICH ACTIVATES THE GLUE THAT HOLDS THE SEAM. GYPSUM BOARD PRIMERS ARE TO BE TINTED DARKER SHOULD A DARK COLOURED KOROSEAL PRODUCT BE SELECTED TO BE INSTALLED. ARCHITECT TO SELECT A MAXIMUM OF THREE (3) COLOURS / FINISHES FROM EACH OF THE "PREMIUM WOOD" AND "CONCRETE" CATEGORIES FROM THE CURRENT KOROSEAL REATEC COLOUR / FINISHES SELECTIONS. KOROSEAL FINISH MATERIALS CALLED TO BE INSTALLED IN RM. 113 (MEETING ROOM) IN COLOUR "SYCAMORE SG" (RW-5041) IS TO BE SUPPLIED BY OWNER BUT INSTALLED BY GENERAL CONTRACTOR AS PART OF THIS SCOPE OF WORK. KOROSEAL FINISH MATERIALS CALLED TO BE INSTALLED IN RM. 103 (CORRIDOR) IN COLOUR "AMUSEMENT 9" (TU-4631) IS TO BE SUPPLIED & INSTALLED BY GENERAL CONTRACTOR AS PART OF THIS SCOPE OF WORK.
- GENERAL CONTRACTOR TO NOTE THAT THIS WORK IS TO BE PERFORMED IN THE IDENTIFIED SCOPE OF WORK AREA BUT THE REMAINDER OF THE BUILDING WILL REMAIN FULLY OCCUPIED AND FUNCTIONING DURING CONSTRUCTION. ALL WORK THAT INVOLVES THE USE OF HEAVY EQUIPMENT (JACK HAMMERS, CONCRETE SAWS, ETC.) THAT WOULD PRODUCE LOUD NOISE THAT WILL AFFECT OCCUPANTS IN THE BUILDING OUTSIDE OF THE SCOPE OF WORK AREA IS TO BE PERFORMED OUTSIDE OF REGULAR OPERATIONAL HOURS FOR THE BUILDING (8:00 AM TO 4:30 PM MONDAY TO FRIDAY). ADDITIONALLY, ANY WORK WHICH CAUSES POWER, WATER OR HEATING / COOLING OF AREAS OF THE BUILDING OUTSIDE OF THE SCOPE OF WORK AREA IS TO BE PERFORMED OUTSIDE OF REGULAR OPERATIONAL HOURS. THIS WOULD INCLUDE ELECTRICAL PANEL SHUTDOWNS OR REPLACEMENTS. THE GENERAL CONTRACTOR IS TO NOTE THAT ANY HOURLY PREMIUMS ON ANY LABOUR INVOLVED WITH WORK OUTSIDE OF REGULAR OPERATIONAL HOURS IS TO BE INCLUDED AND ACCOUNTED FOR IN THE SUBMITTED BASE BID PRICE.

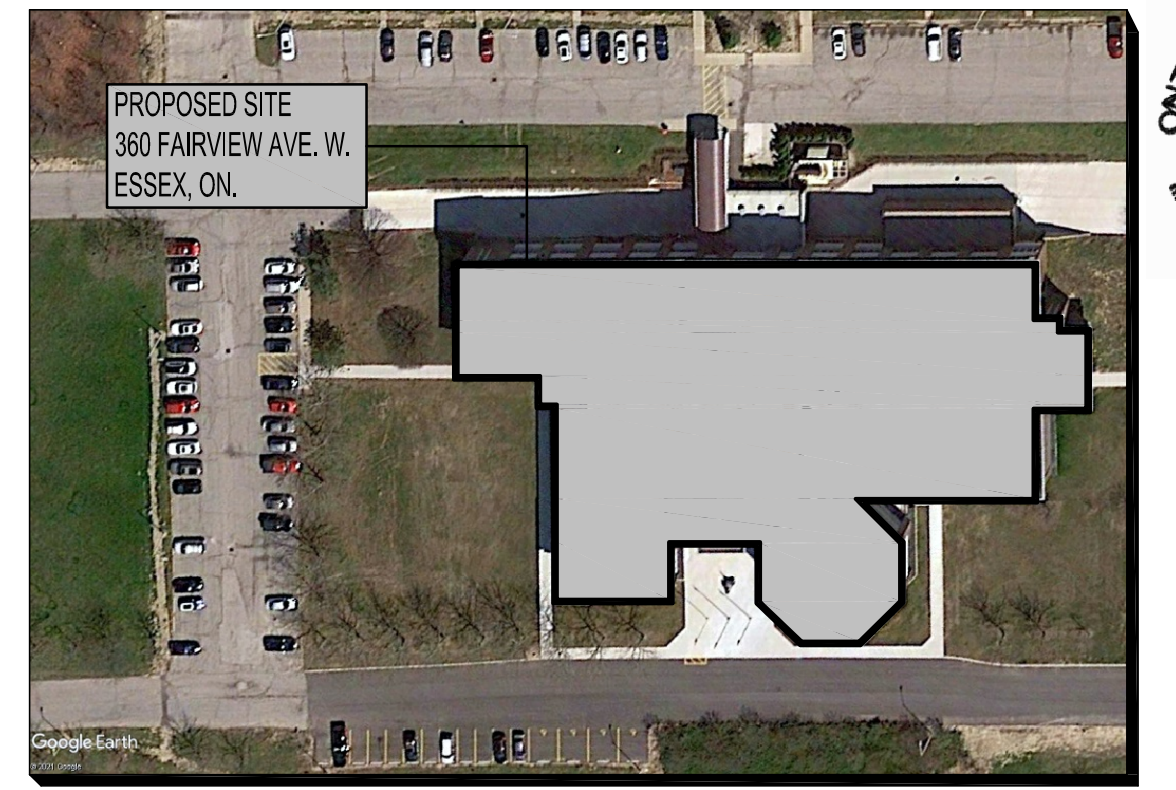
2620-B - ESSEX CIVIC CENTRE INTERIOR RENOVATIONS

LIST OF DRAWINGS

ARCHITECTURAL	
A0	PHASE 2 - LOCATION PLAN, LIST OF DRAWINGS, GENERAL NOTES, CODE MATRIX
D1	PHASE 2 - DEMOLITION GROUND FLOOR REFLECTED CEILING PLAN
D2	PHASE 2 - DEMOLITION FIRST FLOOR PLAN & DEMOLITION FIRST FLOOR REFLECTED CEILING PLAN
A1	PHASE 2 - FIRST FLOOR KEY PLAN, FIRST FLOOR PLAN & FIRST FLOOR REFLECTED CEILING PLAN
A2	PHASE 2 - DOOR & ROOM FINISH SCHEDULES, WINDOW, DOOR, & FRAME TYPES
A3	PHASE 2 - INTERIOR ELEVATIONS & SECTIONS
A4	PHASE 2 - INTERIOR SECTIONS & DETAILS, PHASE 1 KEY PLAN, KITCHEN 174 PLAN, ELEV. & SECTIONS
A5	PHASE 2 - FLOOR PATTERN LAYOUT

MECHANICAL	
M0.00	MECHANICAL LEGEND & DRAWING LIST
M0.01	MECHANICAL SPECIFICATIONS
M0.02	MECHANICAL SPECIFICATIONS
M0.03	MECHANICAL SPECIFICATIONS
M0.04	MECHANICAL UNITS SPECIFICATIONS
M0.05	MECHANICAL DETAILS
M0.06	MECHANICAL DETAILS
M1.01	PHASE 2 - DEMOLITION FIRST FLOOR H.V.A.C PLAN
M1.02	PHASE 2 - DEMOLITION FIRST FLOOR PLUMBING AND DRAINAGE PLAN
M1.03	PHASE 2 - DEMOLITION FIRST FLOOR HYDRONIC LINES PLAN
M2.01	PHASE 2 - FIRST FLOOR H.V.A.C PLAN
M3.01	PHASE 2 - FIRST FLOOR PLUMBING AND DRAINAGE PLAN
M4.01	PHASE 2 - FIRST FLOOR HYDRONIC LINES PLAN

ELECTRICAL	
E0.00	ELECTRICAL LEGEND & DRAWING LIST
E0.01	ELECTRICAL SPECIFICATIONS 1 OF 2
E0.02	ELECTRICAL SPECIFICATIONS 2 OF 2
E0.03	LIGHTING SCHEDULES
E1.01	PHASE 2 - DEMOLITION FIRST FLOOR LIGHTING, POWER & SYSTEMS PLAN
E2.01	PHASE 2 - FIRST FLOOR LIGHTING, POWER & SYSTEMS PLAN
E2.02	PHASE 2 - FIRST FLOOR LIGHTING, POWER & SYSTEMS PLAN
E3.01	ELECTRICAL SINGLE LINE DIAGRAM
E5.02	ELECTRICAL PANEL SCHEDULES
E6.01	ELECTRICAL DETAILS



LOCATION PLAN
SCALE: NTS

ITEM	DESCRIPTION	REMARKS	REVISIONS
11.00	BUILDING CODE VERSION: 0, REG. 232/12 LAST AMENDMENT: 0, REG. 181/14		
11.01	PROJECT TYPE: <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION & RENOVATION <input type="checkbox"/> CHANGE OF USE DESCRIPTION: PHASED DEMOLITION AND RENOVATION OF PORTION OF INTERIOR AREAS OF EXISTING FIRST FLOOR (APPROX. 11,275 SQ. FT.) OF A LARGE EXISTING 2 STOREY MUNICIPAL OFFICE BUILDING. C/M W & E UPDATES.		[4] 1.1.2
11.02	MAJOR OCCUPANCY CLASSIFICATION: OFFICE GROUP D		5.12.1(1)
11.03	SUPERIMPOSED WORK OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES DESCRIPTION:		5.2.2.7
11.04	BUILDING AREA (SQ. FT.): TOTAL GROUP D BUILDING: 36,500 SQ. FT. TOTAL GROUP D BUILDING: 0		[4] 1.4.1.2
11.05	BUILDING HEIGHT: 2 STOREY(S) ABOVE GRADE 1 STOREY(S) BELOW GRADE		[4] 1.4.1.2 & 5.2.1.1
11.06	NUMBER OF STREETS / FRONTYARD ACCESS: 2 STREETS(S)		5.2.2.10 & 5.2.5
11.07	BUILDING SITE: <input type="checkbox"/> SMALL <input type="checkbox"/> MEDIUM <input checked="" type="checkbox"/> LARGE <input type="checkbox"/> JUMGE		11.1.2.1.8-N
11.08	EXISTING BUILDING CLASSIFICATION: MAJOR CHANGES IN OCCUPANCY: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE CONSTRUCTION NEED: N/A MAJOR NEED: N/A		11.5.7 11.2.2.14 11.2.1.18 TO N
11.09	RENOVATION TYPE: <input type="checkbox"/> BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION		11.5.5.1 11.5.5.2
11.10	OCCUPANT LOAD: FLOOR LEVEL/AREA OCCUPANT LOAD BASED ON OCCUPANT LOAD (PERSONS) FIRST FLOOR GROUP D 3.1.17.1 246 (184 PER 3.7.4.2(1)) SECOND FLOOR GROUP D 3.1.17.1 272 (181 PER 3.7.4.2(1))		3.1.17.1
11.11	PLUMBING FIXTURE REQUIREMENTS: FLOOR LEVEL/AREA OCCUPANT LOAD BASED ON OCCUPANT LOAD (PERSONS) FIRST FLOOR/GROUP D 164 3.7.4.7 10 TOTAL 21 SECOND FLOOR/GROUP D 181 3.7.4.7 10 TOTAL 20		3.7.4
11.12	BARBER-FREE DESIGN: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES ALL AREAS BEING RENOVATED TO HAVE BARBER FREE REQUIREMENTS AS PER O.B.C.		11.3.3.2(2)
11.13	REDUCTION IN PERFORMANCE LEVEL: STRUCTURAL: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.2.1 BY INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.2.2 BY CHANGE IN MAJOR OCCUPANCY: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.2.3 PLUMBING: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.2.4 SEWAGE-SYSTEMS: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.2.5 EXTENSION OF COMBUSTIBLE CONSTRUCTION: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.2.6		11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
11.14	COMPENSATING CONSTRUCTION: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES STRUCTURAL: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.3.1 BY INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.3.2 BY CHANGE IN MAJOR OCCUPANCY: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.3.3 PLUMBING: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.3.4 SEWAGE-SYSTEMS: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.3.5 EXTENSION IN COMBUSTIBLE CONSTRUCTION: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES 11.4.3.6		11.4.3.1 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.15	EMERGENCY ALTERNATIVES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		11.5.1
11.16	NOTES:		11.5.1



ESSEX CIVIC CENTRE INTERIOR RENOVATIONS
 360 FAIRVIEW AVE. W.

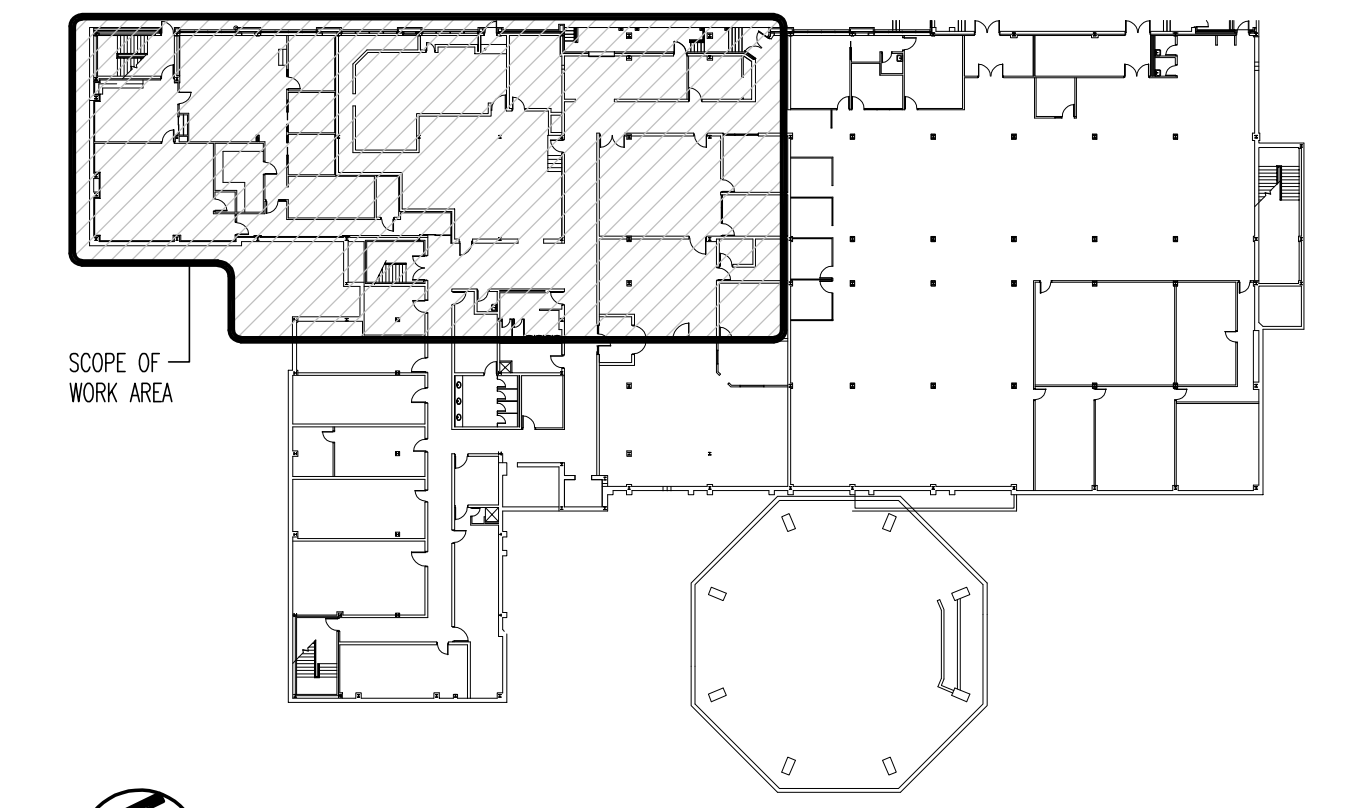
ISSUE DATE (Y2/M)	NO.	ISSUED FOR	ISSUE DATE (Y2/M)	NO.	ISSUED FOR
2024-01-24	1	TENDER			

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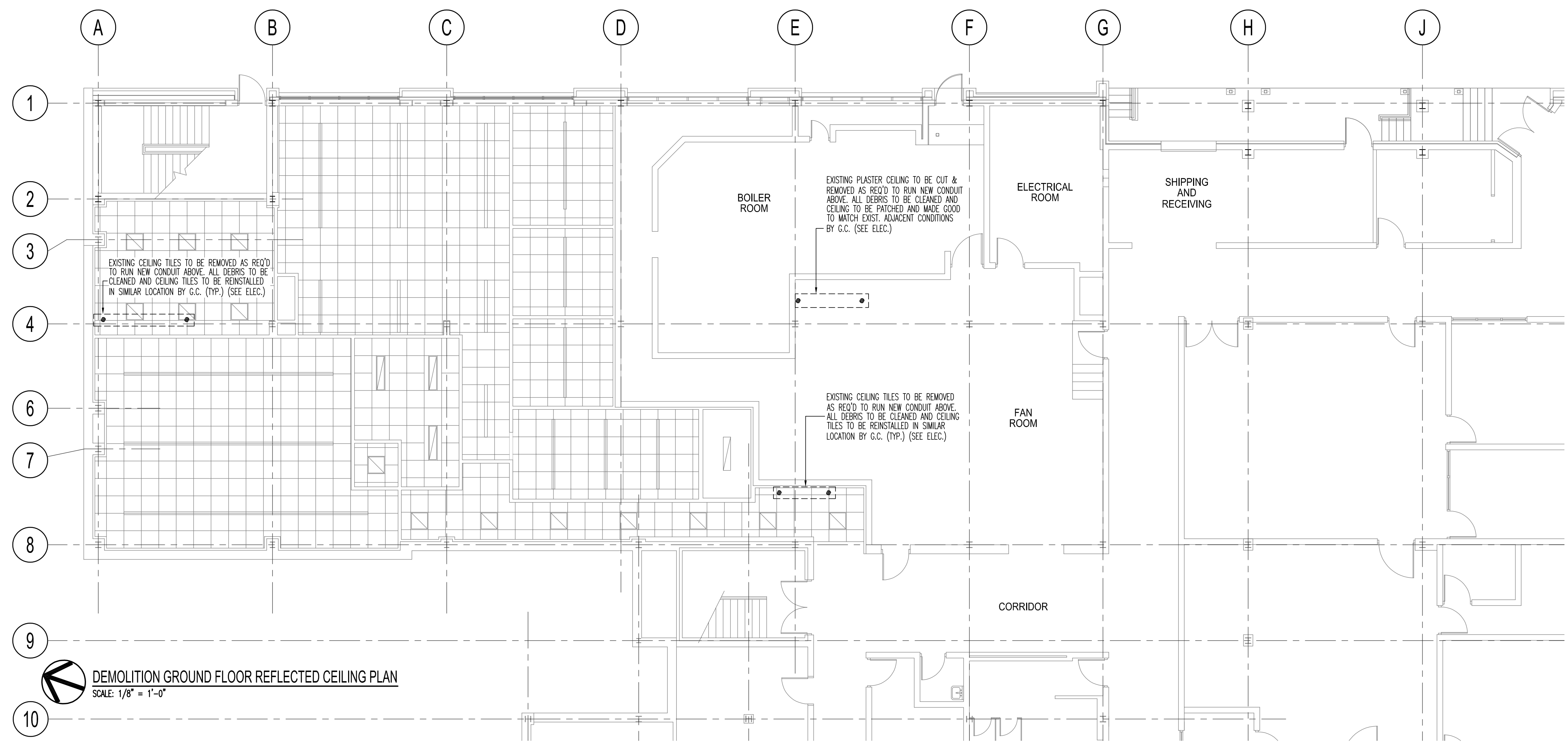
Passa Associates Inc. ARCHITECTS
787 OUELLETTE AVENUE, SUITE 102, WINDSOR, ON, CANADA N9A 4J4, T (519)252-0775, F 252-8059, E studio@passa.ca
THE CORPORATION OF THE COUNTY OF ESSEX
360 FAIRVIEW AVE. W., ESSEX, ON.

DATE: JAN. 2024
DESIGNED BY: W.P. D.R.
SCALE: AS SHOWN
CASTLE
2025-01-20

PHASE 2 - LOCATION PLAN, LIST OF DRAWINGS, GENERAL NOTES, CODE MATRIX
ESSEX CIVIC CENTRE INTERIOR RENOVATIONS
360 FAIRVIEW AVE. W., ESSEX, ON.
PROJECT NO. 2620-B
PROJECT: AO



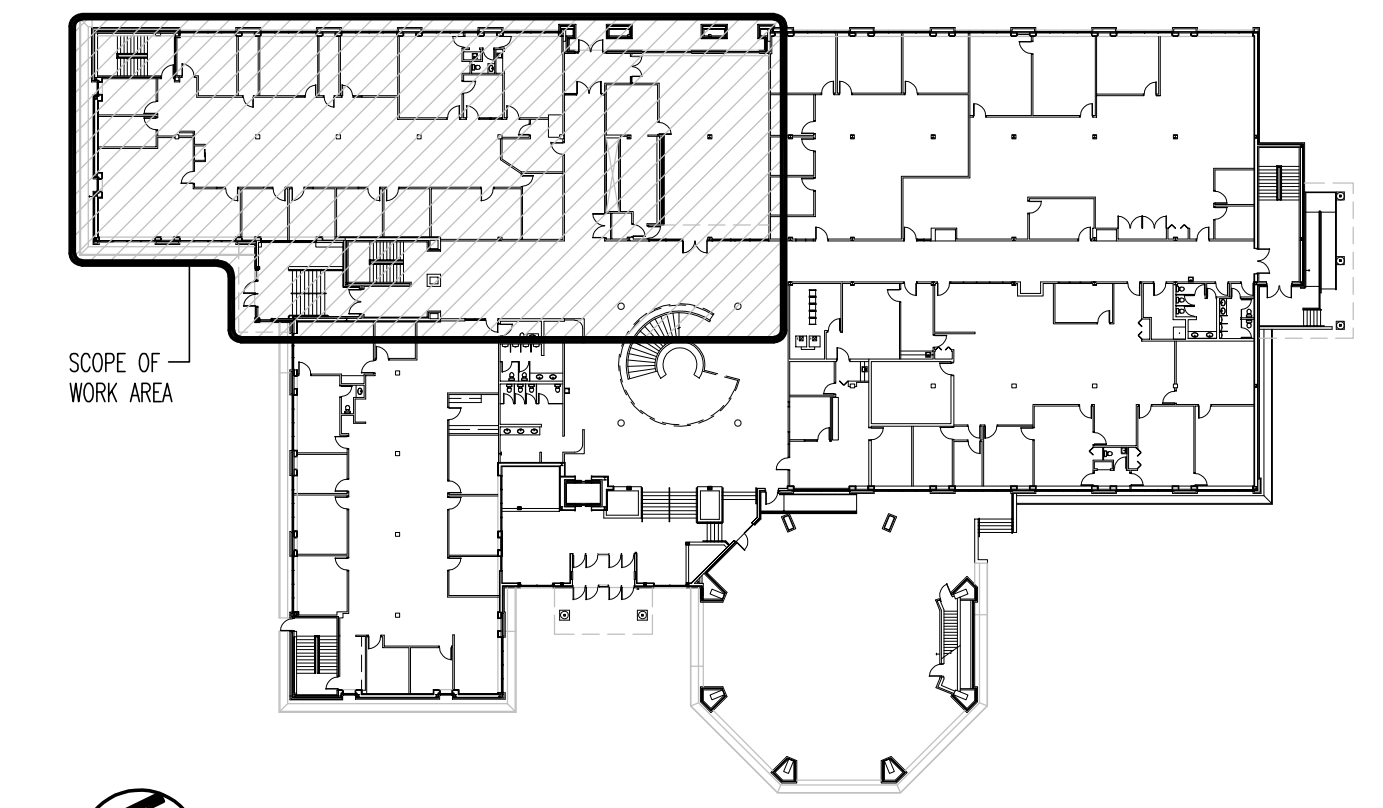
GROUND FLOOR KEY PLAN
SCALE: N.T.S.



DEMOLITION GROUND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

- GENERAL DEMOLITION NOTES**
- EXISTING WALLS, FLOORS AND CEILINGS TO BE PATCHED TO MATCH EXISTING ADJACENT SURFACE CONDITIONS WHERE EXISTING MOUNTED ITEMS ARE REMOVED.
 - WHERE DEMOLITION OCCURS, CARE IS TO BE TAKEN TO AVOID DAMAGE AND CRACKING OF EXISTING ADJACENT MATERIAL TO REMAIN. ALL REQUIRED REPAIR WORK ASSOCIATED WITH DEMOLITION TO BE INCLUDED IN CONTRACT.
 - EXISTING CEILING TILES, GRILLES AND DIFFUSERS ARE TO BE REMOVED IN AREAS WHERE SUSPENDED CEILING SYSTEMS ARE LOCATED. CEILING GRID SYSTEMS AND ALL LIGHT FIXTURES, EMERGENCY LIGHTS AND EXIT SIGNS ARE TO REMAIN (IF ATTACHED TO A CEILING TILE, THE CEILING TILE EQUIPMENT IS MOUNTED TO CAN REMAIN). ALL EXISTING SPEAKERS AND WIRELESS ACCESS POINTS AND THEIR ASSOCIATED WIRING IS TO REMAIN WITH EQUIPMENT AND WIRING WOUND AND SECURED TO STEEL JOISTS IN CEILING NEAR WHERE REMOVED. ALL CEILING REMOVALS ARE TO BE COORDINATED WITH THE ABATEMENT CONTRACTOR TO ENSURE EXISTING CEILING MATERIALS IDENTIFIED AS CONTAINING ASBESTOS (IN THE DSS REPORT PROVIDED AS PART OF THE TENDER DOCUMENTS) ARE REMOVED AND DISPOSED OF AS REQUIRED.
 - DEMOLITION CONTRACTOR TO REVIEW ENTIRE SCOPE OF WORK, FIELD VERIFY AND COORDINATE REMOVALS WITH MECHANICAL AND ELECTRICAL TRADES TO ENSURE ALL REQUIRED REMOVALS OCCUR.
 - GENERAL CONTRACTOR TO ENSURE THAT ALL EXISTING CONSTRUCTION THAT IS TO REMAIN IS PROTECTED AND NOT DAMAGED OR DISTURBED BY DEMOLITION WORK. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ALL EXISTING CONSTRUCTION THAT IS DAMAGED DURING CONSTRUCTION.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ABATEMENT SAFETY PROTOCOLS ARE MAINTAINED ON THE SITE.
 - GENERAL CONTRACTOR IS RESPONSIBLE BUT NOT LIMITED TO MEANS AND METHODS OF DEMOLITION, HOARDING AND SECURITY ON SITE DURING CONSTRUCTION AND DEMOLITION.
 - ALL EXISTING FACE PLATES FOR SWITCHES AND RECEPTACLES TO BE REMOVED AS PART OF SCOPE OF WORK. ALL SWITCH AND RECEPTACLE BOXES AND ASSOCIATED WIRING TO BE LEFT IN PLACE AS BEST CAN BE ACCOMPLISHED IN A SAFE MANNER FOLLOWING DEMOLITION OF ALL WALLS.
 - GENERAL CONTRACTOR TO COORDINATE WITH ALL SUB-TRADES TO ENSURE THAT BUILDING SERVICES INCLUDING BUT NOT LIMITED TO HYDRO, GAS, WATER, ETC. REMAIN FUNCTIONAL IN ALL AREAS OF THE BUILDING THAT ARE NOT UNDER DEMOLITION / CONSTRUCTION AS DEFINED BY THESE DRAWINGS AT ALL TIMES. SERVICES IN THE AREA OF DEMOLITION / CONSTRUCTION TO BE TAKEN OFF-LINE ONLY AS REQUIRED TO PERFORM WORK SAFELY AND PROPERLY AND ONLY AFTER GIVING AT LEAST 24 HOURS NOTICE TO THE OWNER OF THE SERVICES TO BE AFFECTED AND PROVIDING AN EXPECTED TIME PERIOD OF THEM BEING OFF-LINE. WHERE POWER TO OTHER SPACES OF BUILDING IS NEEDED TO BE TAKEN OFF LINE, THIS WORK IS TO BE ACCOMPLISHED AFTER 4:00 PM ON WORK DAYS, DURING THE EVENING OR DURING WEEKENDS TO MINIMIZE IMPACT TO OCCUPANTS OF THE BUILDING.
 - WHERE EXISTING EXTERIOR PERIMETER WALL CONSTRUCTION IS TO BE REMOVED DOWN TO FACE OF EXISTING CONCRETE BLOCK TO REMAIN, GENERAL CONTRACTOR TO CLOSELY COORDINATE WITH ABATEMENT CONTRACTOR TO ENSURE EXISTING WALL MATERIALS IDENTIFIED AS ASBESTOS CONTAINING IN THE SPECIFICATION SECTIONS (PROVIDED IN TENDER DOCUMENTS) ARE REMOVED AND DISPOSED OF AS REQUIRED.
 - ALL EXISTING PLUMBING FIXTURES ARE TO BE REMOVED AND DISPOSED OF AS PART OF THIS SCOPE OF WORK. ALL EXISTING PLUMBING PIPING (SUPPLY AND DRAIN LINES) THAT ARE CONNECTED TO THESE FIXTURES ARE TO BE CAPPED WHERE THE FIXTURE REMOVAL OCCURS. ALL EXISTING PLUMBING WATER SUPPLY AND DRAIN LINES AND WATER LINES ASSOCIATED WITH THE HVAC SYSTEM ARE TO REMAIN.
 - ALL EXISTING OUTWORK, VAV BOXES OR HVAC RELATED EQUIPMENT IN THE SCOPE OF WORK AREA IS TO REMAIN. ALL EXISTING PERIMETER WALL MOUNTED RADIATORS AND THE ASSOCIATED PIPING AND VALVES TO THESE RADIATORS ARE TO REMAIN.
 - EXISTING ELECTRICAL PANELS WITHIN THE SCOPE OF WORK AREA ARE TO REMAIN. WHERE ANY WALL MOUNTED ELECTRICAL PANEL IS LOCATED, CONTRACTOR IS TO MAINTAIN A PORTION OF THE EXISTING WALL AS REQUIRED TO ALLOW FOR THE ELECTRICAL PANEL TO SAFELY REMAIN IN ITS EXISTING POSITION AND LOCATION.
 - ANY SELECTIVE DEMOLITION REQUIRED TO BE COMPLETED USING EXTREMELY LOUD EQUIPMENT SUCH AS JACKHAMMERS OR SAWS OR DRILLS USED FOR THE CUTTING OF CONCRETE FLOOR SLABS, CAST IN PLACE CONCRETE OR CONCRETE BLOCK WALLS REGARDLESS OF WHERE THIS WORK IS TO BE COMPLETED WITHIN THE SCOPE OF WORK AREA IS ALSO TO BE SCHEDULED AFTER 4:00 PM DAILY IN ORDER TO MINIMALLY DISTURB THE OCCUPANTS OF THE REMAINDER OF THE BUILDING WHICH IS TO REMAIN FULLY OPERATIONAL DURING DEMOLITION.

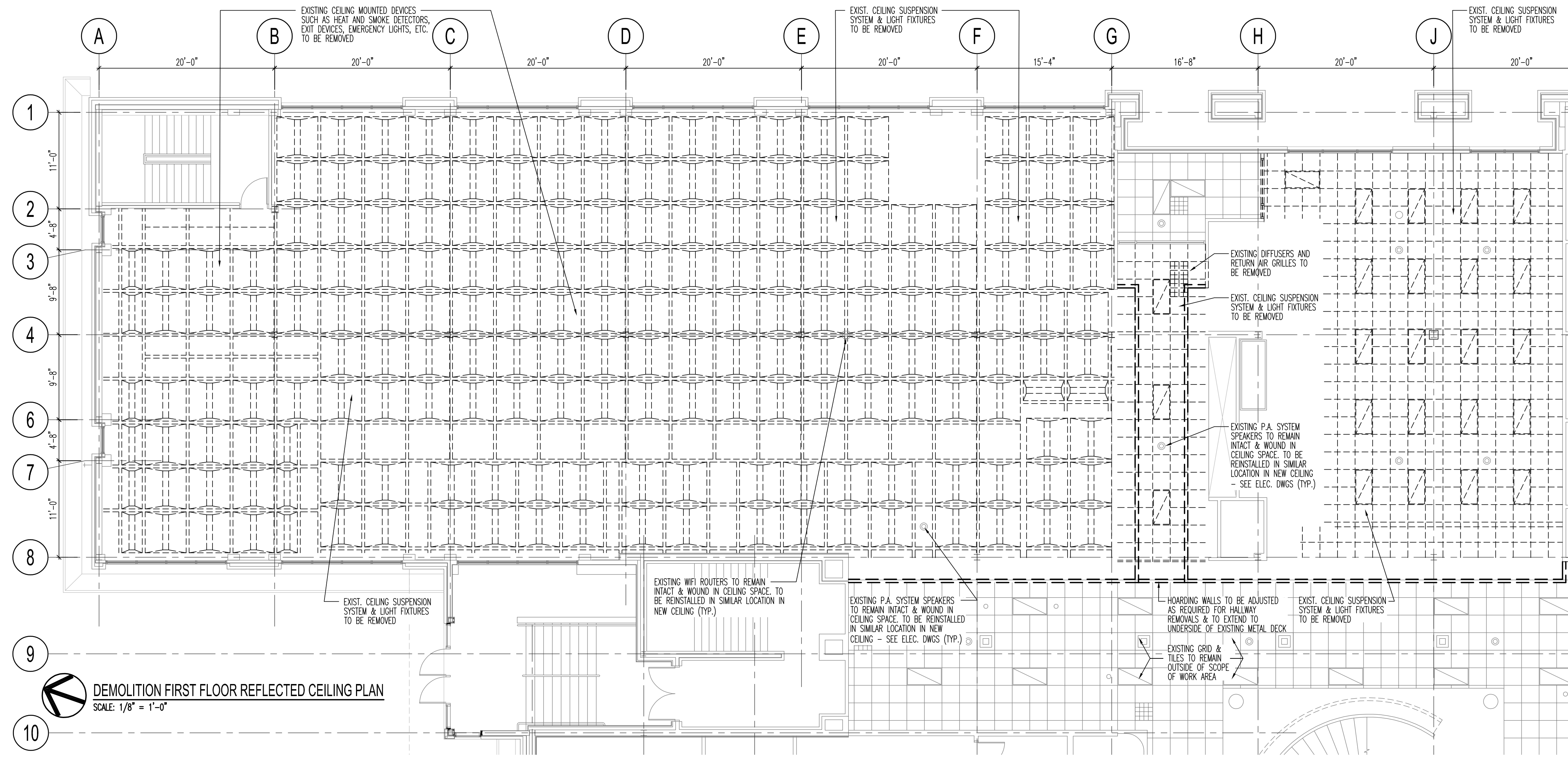
- ABATEMENT NOTES**
- DEMOLITION CONTRACTOR & GENERAL CONTRACTOR TO BE AWARE THAT THERE IS KNOWN TO BE ASBESTOS CONTAINING MATERIALS PRESENT IN THE AREAS WHERE WORK IS TO BE PERFORMED AS PART OF THIS CONTRACT. THE REMOVAL OF THESE MATERIALS IS TO BE INCLUDED AS PART OF THE SCOPE OF WORK TO THIS CONTRACT WITH ALL REMAINING IDENTIFIED DESIGNATED MATERIALS IN THE DSS REPORT PROVIDED AS PART OF THE TENDER DOCUMENTS (SEE SPECIFICATIONS) TO BE REMOVED.
 - ABATEMENT CONTRACTOR TO BE CARRIED BY THE GENERAL CONTRACTOR AS PART OF BASE BID CONTRACT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND SCHEDULING OF THE WORK TO BE COMPLETED BY THE ABATEMENT CONTRACTOR.
 - MATERIALS IDENTIFIED IN THE DESIGNATED SUBSTANCES SURVEY (DSS REPORT) THAT ARE TO BE REMOVED AS PART OF THIS DEMOLITION SCOPE OF WORK. ALL OF THESE SUBSTANCES ARE TO BE CONFIRMED AS TO LOCATION AND QUANTITY WITH THE PROVIDED DSS REPORT AND AS IDENTIFIED ON SITE. THE PROPOSED SCOPE OF WORK AREAS HAVE BEEN PARTIALLY DEMOLISHED PRIOR TO THIS TENDER AND SHOULD BE ACCESSED BY ALL GENERAL CONTRACTORS AND DEMOLITION CONTRACTORS TO CONFIRM THE ABATEMENT SCOPE OF WORK. DESIGNATED SUBSTANCES TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - ALL FLOOR TILE AND MASTIC IDENTIFIED IN THE DSS REPORT WITHIN THE SCOPE OF WORK AREA
 - FIRE RATED DOOR LOCATED AT EXIT STAIRWELL IN NORTHEAST CORNER OF SCOPE OF WORK AREA
 - ANY METAL SINK UNDERCOATINGS IDENTIFIED IN THE DSS REPORT AND LOCATED WITHIN THE SCOPE OF WORK AREA
 - ANY EXISTING TAR SEALS IDENTIFIED IN THE DSS REPORT AND LOCATED WITHIN THE SCOPE OF WORK AREA
 - ANY DUCT PARING CEMENT IDENTIFIED IN THE DSS REPORT AND LOCATED WITHIN THE SCOPE OF WORK AREA (MAJORITY SHOULD BE EXPOSED AND VISIBLE CURRENTLY ON SITE AND SHOULD BE REMOVED WHERE NOTED IN DSS REPORT AND WHERE VISUALLY NOTED)
 - ALL PIPE FITTING INSULATION IDENTIFIED IN THE DSS REPORT AND LOCATED WITHIN THE SCOPE OF WORK AREA
 - ALL TRANSITE ROOF DRAIN PIPING NOTED IN THE DSS REPORT AND AS VISUALLY NOTED ON SITE
 - ALL EXISTING EXIT SIGNAGE AS NOTED IN THE DSS REPORT
 - ALL REMAINING EXISTING FLUORESCENT LIGHT FIXTURES AS NOTED IN THE DSS REPORT
 - GENERAL CONTRACTOR TO NOTIFY OWNER ENVIRONMENTAL CONSULTANT OF ANY MATERIALS DISCOVERED ON SITE BY HIS OWN FORCES BELIEVED TO BE DESIGNATED SUBSTANCES FOR FURTHER INVESTIGATION AND INSTRUCTIONS.
 - GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER'S ENVIRONMENTAL CONSULTANT FOR REVIEW OF COMPLETED ABATEMENT WORK.



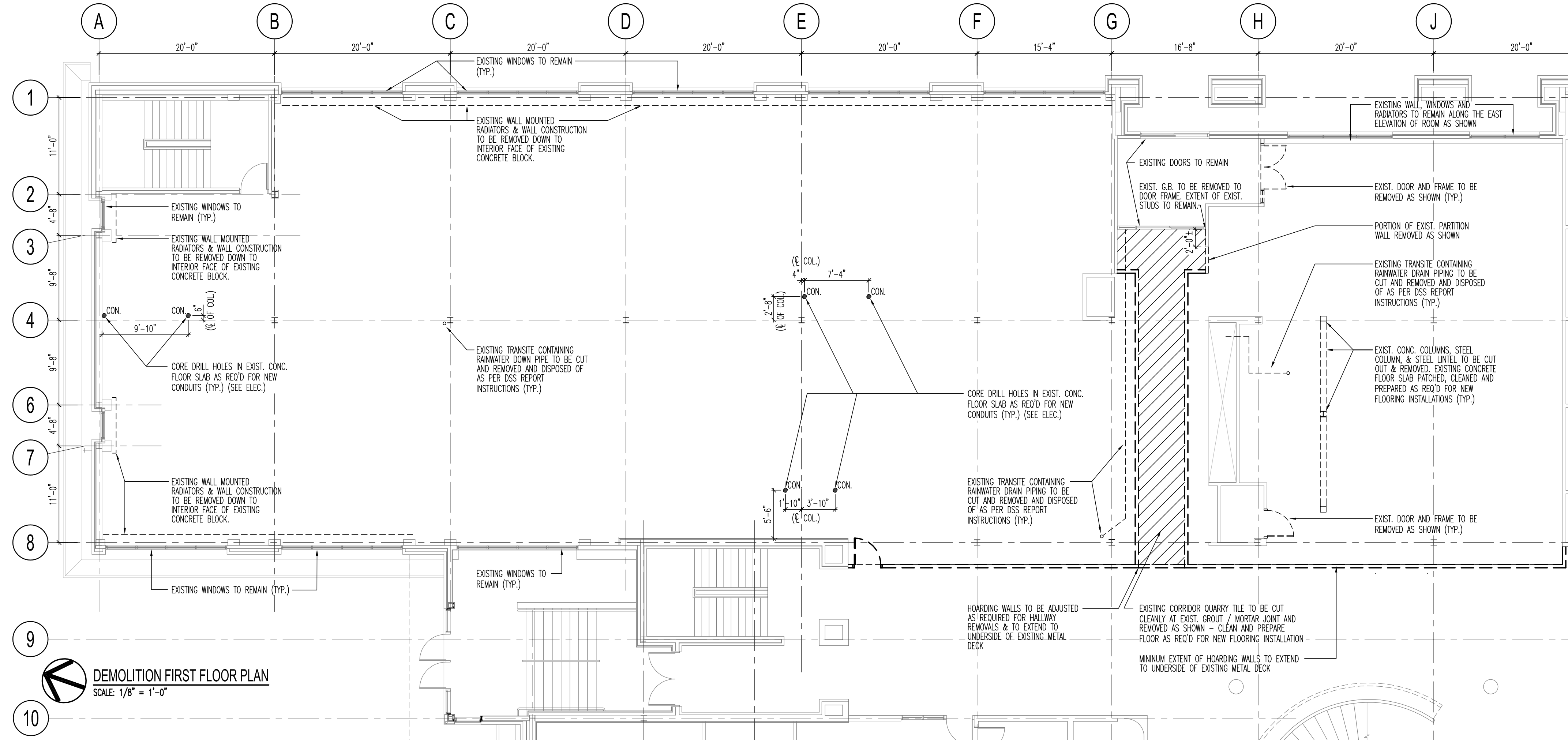
FIRST FLOOR KEY PLAN
SCALE: N.T.S.

- GENERAL DEMOLITION NOTES**
- EXISTING WALLS, FLOORS AND CEILINGS TO BE PATCHED TO MATCH EXISTING ADJACENT SURFACE CONDITIONS WHERE EXISTING MOUNTED ITEMS ARE REMOVED.
 - WHERE DEMOLITION OCCURS, CARE IS TO BE TAKEN TO AVOID DAMAGE AND CRACKING OF EXISTING ADJACENT MATERIAL TO REMAIN. ALL REQUIRED REPAIR WORK ASSOCIATED WITH DEMOLITION TO BE INCLUDED IN CONTRACT.
 - EXISTING CEILING TILES, GRILLES AND DIFFUSERS ARE TO BE REMOVED IN AREAS WHERE SUSPENDED CEILING SYSTEMS ARE LOCATED. CEILING GRID SYSTEMS AND ALL LIGHT FIXTURES, EMERGENCY LIGHTS AND EXIT SIGNS ARE TO REMAIN (IF ATTACHED TO A CEILING TILE, THE CEILING TILE EQUIPMENT IS MOUNTED TO CAN REMAIN). ALL EXISTING SPEAKERS AND WIRELESS ACCESS POINTS AND THEIR ASSOCIATED WIRING IS TO REMAIN WITH EQUIPMENT AND WIRING WOUND AND SECURED TO STEEL JOISTS IN CEILING NEAR WHERE REMOVED. ALL CEILING REMOVALS ARE TO BE COORDINATED WITH THE ABATEMENT CONTRACTOR TO ENSURE EXISTING CEILING MATERIALS IDENTIFIED AS CONTAINING ASBESTOS (IN THE DSS REPORT PROVIDED AS PART OF THE TENDER DOCUMENTS) ARE REMOVED AND DISPOSED OF AS REQUIRED.
 - DEMOLITION CONTRACTOR TO REVIEW ENTIRE SCOPE OF WORK, FIELD VERIFY AND COORDINATE REMOVALS WITH MECHANICAL AND ELECTRICAL TRADES TO ENSURE ALL REQUIRED REMOVALS OCCUR.
 - GENERAL CONTRACTOR TO ENSURE THAT ALL EXISTING CONSTRUCTION THAT IS TO REMAIN IS PROTECTED AND NOT DAMAGED OR DISTURBED BY DEMOLITION WORK. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ALL EXISTING CONSTRUCTION THAT IS DAMAGED DURING CONSTRUCTION.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ABATEMENT SAFETY PROTOCOLS ARE MAINTAINED ON THE SITE.
 - GENERAL CONTRACTOR IS RESPONSIBLE BUT NOT LIMITED TO MEANS AND METHODS OF DEMOLITION, HOARDING AND SECURITY ON SITE DURING CONSTRUCTION AND DEMOLITION.
 - ALL EXISTING FACE PLATES FOR SWITCHES AND RECEPTACLES TO BE REMOVED AS PART OF SCOPE OF WORK. ALL SWITCH AND RECEPTACLE BOXES AND ASSOCIATED WIRING TO BE LEFT IN PLACE AS BEST CAN BE ACCOMPLISHED IN A SAFE MANNER FOLLOWING DEMOLITION OF ALL WALLS.
 - GENERAL CONTRACTOR TO COORDINATE WITH ALL SUB-TRADES TO ENSURE THAT BUILDING SERVICES INCLUDING BUT NOT LIMITED TO HYDRO, GAS, WATER, ETC. REMAIN FUNCTIONAL IN ALL AREAS OF THE BUILDING THAT ARE NOT UNDER DEMOLITION / CONSTRUCTION AS DEFINED BY THESE DRAWINGS AT ALL TIMES. SERVICES IN THE AREA OF DEMOLITION / CONSTRUCTION TO BE TAKEN OFF-LINE ONLY AS REQUIRED TO PERFORM WORK SAFELY AND PROPERLY AND ONLY AFTER GIVING AT LEAST 24 HOURS NOTICE TO THE OWNER OF THE SERVICES TO BE AFFECTED AND PROVIDING AN EXPECTED TIME PERIOD OF THEM BEING OFF-LINE. WHERE POWER TO OTHER SPACES OF BUILDING IS NEEDED TO BE TAKEN OFF LINE, THIS WORK IS TO BE ACCOMPLISHED AFTER 4:00 PM ON WORK DAYS, DURING THE EVENING OR DURING WEEKENDS TO MINIMIZE IMPACT TO OCCUPANTS OF THE BUILDING.
 - WHERE EXISTING EXTERIOR PERIMETER WALL CONSTRUCTION IS TO BE REMOVED DOWN TO FACE OF EXISTING CONCRETE BLOCK TO REMAIN, GENERAL CONTRACTOR TO CLOSELY COORDINATE WITH ABATEMENT CONTRACTOR TO ENSURE EXISTING WALL MATERIALS IDENTIFIED AS ASBESTOS CONTAINING IN THE SPECIFICATION SECTIONS (PROVIDED IN TENDER DOCUMENTS) ARE REMOVED AND DISPOSED OF AS REQUIRED.
 - ALL EXISTING PLUMBING FIXTURES ARE TO BE REMOVED AND DISPOSED OF AS PART OF THIS SCOPE OF WORK. ALL EXISTING PLUMBING PIPING (SUPPLY AND DRAIN LINES) THAT ARE CONNECTED TO THESE FIXTURES ARE TO BE CAPPED WHERE THE FIXTURE REMOVAL OCCURS. ALL EXISTING PLUMBING WATER SUPPLY AND DRAIN LINES AND WATER LINES ASSOCIATED WITH THE HVAC SYSTEM ARE TO REMAIN.
 - ALL EXISTING OUTWORK, VAV BOXES OR HVAC RELATED EQUIPMENT IN THE SCOPE OF WORK AREA IS TO REMAIN. ALL EXISTING PERIMETER WALL MOUNTED RADIATORS AND THE ASSOCIATED PIPING AND VALVES TO THESE RADIATORS ARE TO REMAIN.
 - EXISTING ELECTRICAL PANELS WITHIN THE SCOPE OF WORK AREA ARE TO REMAIN. WHERE ANY WALL MOUNTED ELECTRICAL PANEL IS LOCATED, CONTRACTOR IS TO MAINTAIN A PORTION OF THE EXISTING WALL AS REQUIRED TO ALLOW FOR THE ELECTRICAL PANEL TO SAFELY REMAIN IN ITS EXISTING POSITION AND LOCATION.
 - ANY SELECTIVE DEMOLITION REQUIRED TO BE COMPLETED USING EXTREMELY LOUD EQUIPMENT SUCH AS JACKHAMMERS OR SAWS OR DRILLS USED FOR THE CUTTING OF CONCRETE FLOOR SLABS, CAST IN PLACE CONCRETE OR CONCRETE BLOCK WALLS REGARDLESS OF WHERE THIS WORK IS TO BE COMPLETED WITHIN THE SCOPE OF WORK AREA IS ALSO TO BE SCHEDULED TO BE COMPLETED AFTER 4:00 PM DAILY IN ORDER TO MINIMALLY DISTURB THE OCCUPANTS OF THE REMAINDER OF THE BUILDING WHICH IS TO REMAIN FULLY OPERATIONAL DURING DEMOLITION.

- ABATEMENT NOTES**
- DEMOLITION CONTRACTOR & GENERAL CONTRACTOR TO BE AWARE THAT THERE IS KNOWN TO BE ASBESTOS CONTAINING MATERIALS PRESENT IN THE AREAS WHERE WORK IS TO BE PERFORMED AS PART OF THIS CONTRACT. THE REMOVAL OF THESE MATERIALS IS TO BE INCLUDED AS PART OF THE SCOPE OF WORK TO THIS CONTRACT WITH ALL REMAINING IDENTIFIED DESIGNATED MATERIALS IN THE DSS REPORT PROVIDED AS PART OF THE TENDER DOCUMENTS (SEE SPECIFICATIONS) TO BE REMOVED.
 - ABATEMENT CONTRACTOR TO BE CARRIED BY THE GENERAL CONTRACTOR AS PART OF BASE BID CONTRACT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND SCHEDULING OF THE WORK TO BE COMPLETED BY THE ABATEMENT CONTRACTOR.
 - MATERIALS IDENTIFIED IN THE DESIGNATED SUBSTANCES SURVEY (DSS REPORT) THAT ARE TO BE REMOVED AS PART OF THIS DEMOLITION SCOPE OF WORK. ALL OF THESE SUBSTANCES ARE TO BE CONFIRMED AS TO LOCATION AND QUANTITY WITH THE PROVIDED DSS REPORT AND AS IDENTIFIED ON SITE. THE PROPOSED SCOPE OF WORK AREAS HAVE BEEN PARTIALLY DEMOLISHED PRIOR TO THIS TENDER AND SHOULD BE ACCESSED BY ALL GENERAL CONTRACTORS AND DEMOLITION CONTRACTORS TO CONFIRM THE ABATEMENT SCOPE OF WORK. DESIGNATED SUBSTANCES TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - ALL FLOOR TILE AND MASTIC IDENTIFIED IN THE DSS REPORT WITHIN THE SCOPE OF WORK AREA
 - FIRE RATED DOOR LOCATED AT EXIT STAIRWELL IN NORTHEAST CORNER OF SCOPE OF WORK AREA
 - ANY METAL SINK UNDERCOATINGS IDENTIFIED IN THE DSS REPORT AND LOCATED WITHIN THE SCOPE OF WORK AREA
 - ANY EXISTING TAR SEALS IDENTIFIED IN THE DSS REPORT AND LOCATED WITHIN THE SCOPE OF WORK AREA
 - ANY DUCT PARING CEMENT IDENTIFIED IN THE DSS REPORT AND LOCATED WITHIN THE SCOPE OF WORK AREA (MAJORITY SHOULD BE EXPOSED AND VISIBLE CURRENTLY ON SITE AND SHOULD BE REMOVED WHERE NOTED IN DSS REPORT AND WHERE VISUALLY NOTED)
 - ALL PIPE FITTING INSULATION IDENTIFIED IN THE DSS REPORT AND LOCATED WITHIN THE SCOPE OF WORK AREA
 - ALL TRANSITE ROOF DRAIN PIPING NOTED IN THE DSS REPORT AND AS VISUALLY NOTED ON SITE
 - ALL EXISTING EXIT SIGNAGE AS NOTED IN THE DSS REPORT
 - ALL REMAINING EXISTING FLUORESCENT LIGHT FIXTURES AS NOTED IN THE DSS REPORT
 - GENERAL CONTRACTOR TO NOTIFY OWNER ENVIRONMENTAL CONSULTANT OF ANY MATERIALS DISCOVERED ON SITE BY HIS OWN FORCES BELIEVED TO BE DESIGNATED SUBSTANCES FOR FURTHER INVESTIGATION AND INSTRUCTIONS.
 - GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER'S ENVIRONMENTAL CONSULTANT FOR REVIEW OF COMPLETED ABATEMENT WORK.



DEMOLITION FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



DEMOLITION FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

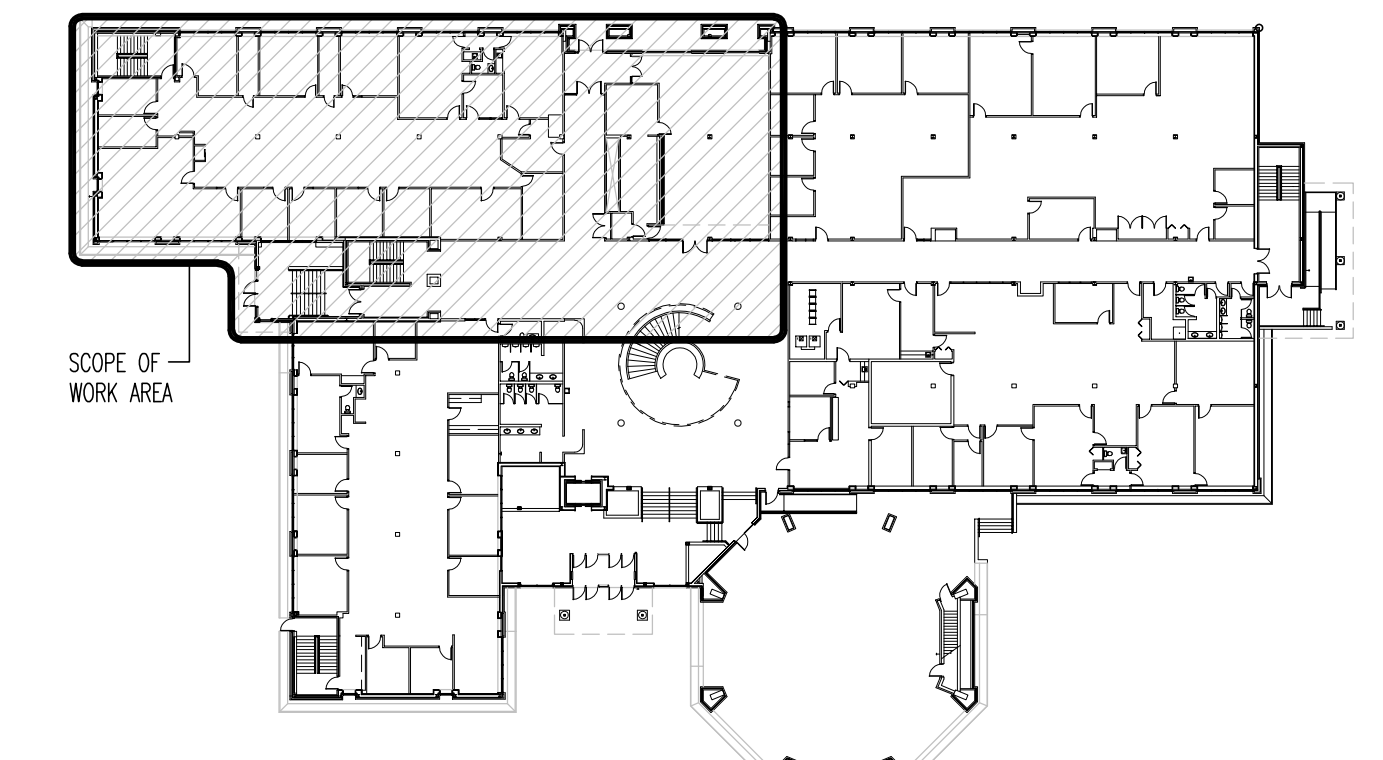
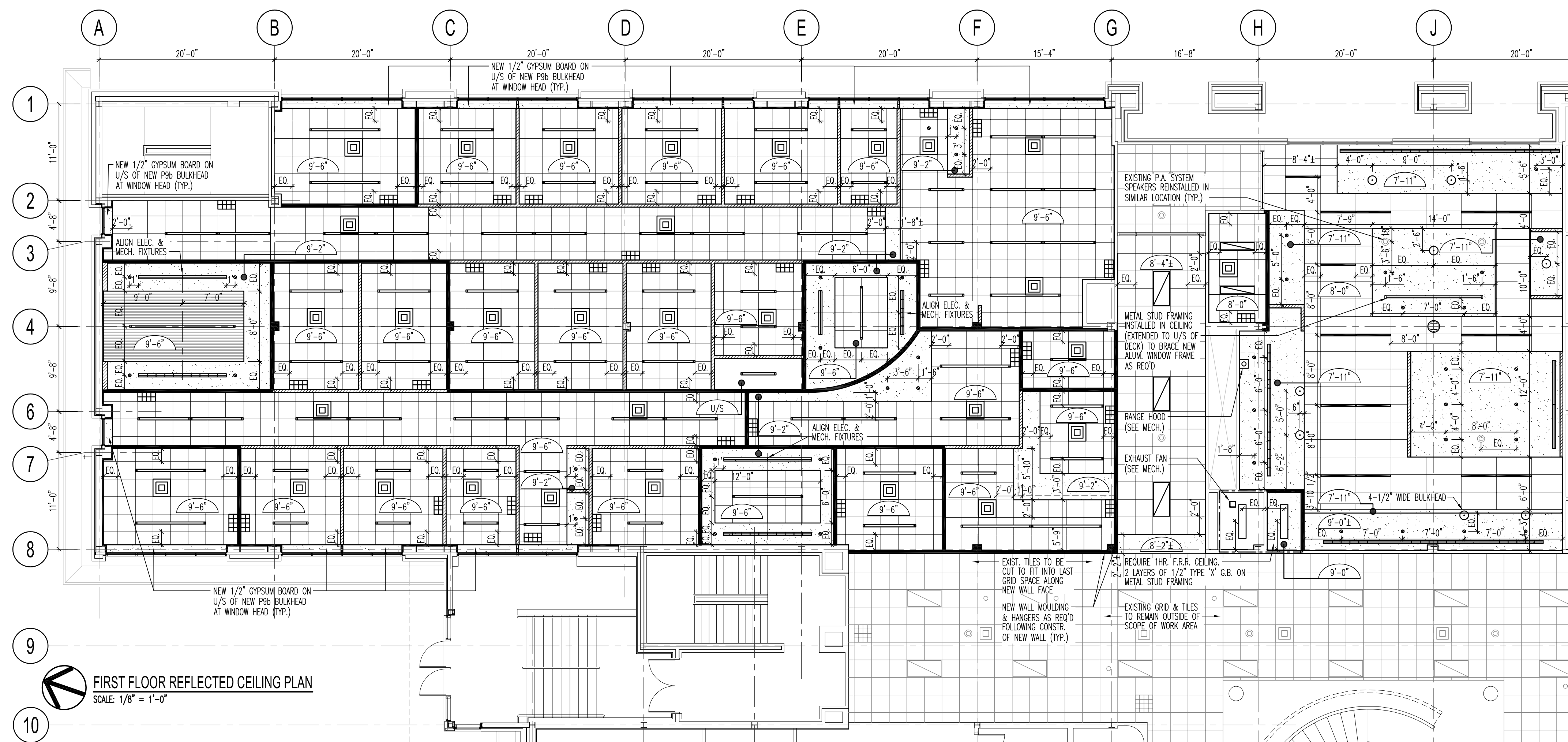
ISSUE DATE (Y2K)	NO.	ISSUED FOR	ISSUE DATE (Y2K)	NO.	ISSUED FOR
2024-01-24	1	TENDER			

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Passa Associates Inc. ARCHITECTS
787 OUELLETTE AVENUE, SUITE 102, WINDSOR, ON, CANADA N4A 4J4, T (519) 252-0775, F 252-8059, E studio@passa.ca
THE CORPORATION OF THE COUNTY OF ESSEX
380 FAIRVIEW AVE. W., ESSEX, ON.

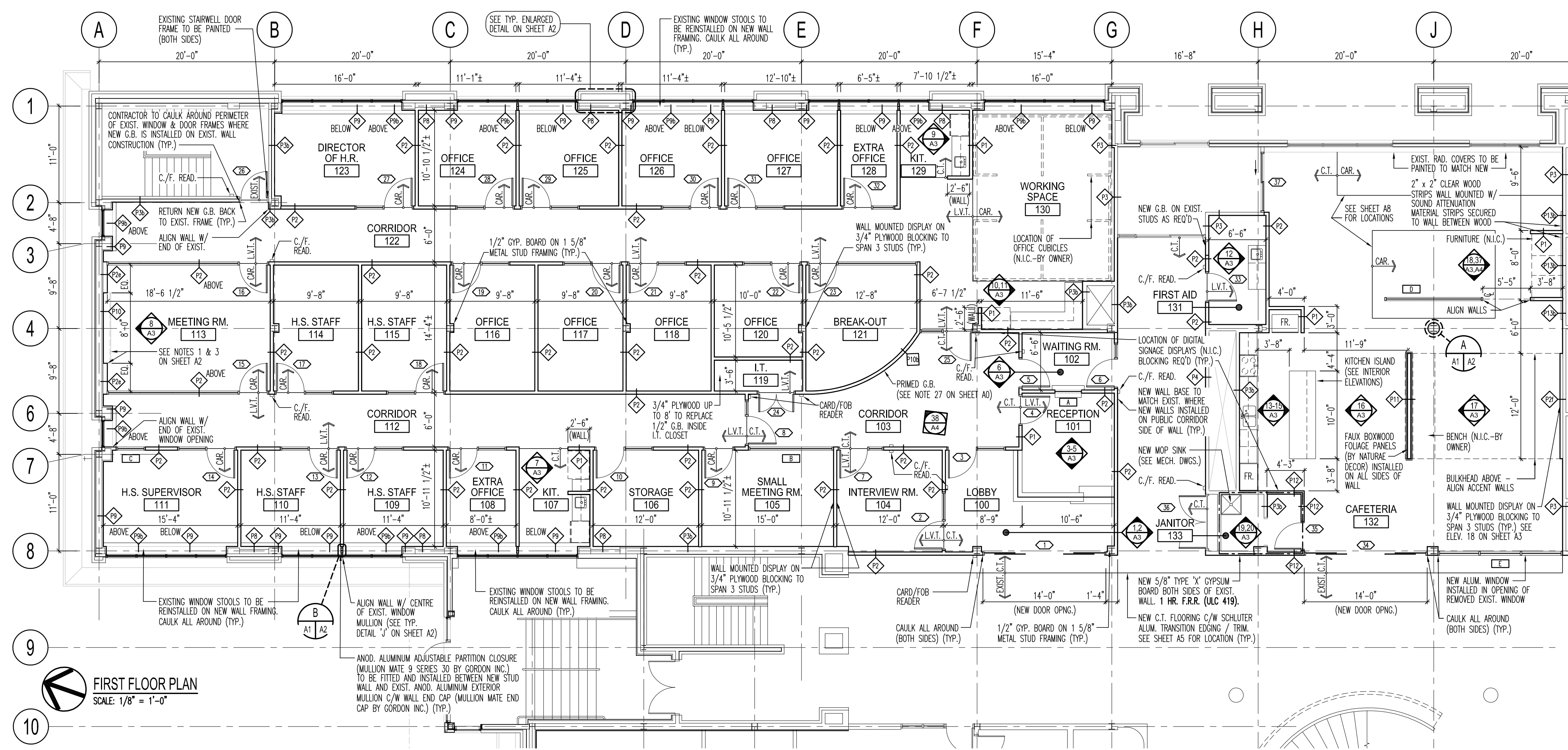
DATE: JAN 2024
DESIGNED BY: P.D.R.
SCALE: AS SHOWN
CADDLE: 2024-01-24

PHASE 2 - DEMOLITION FIRST FLOOR PLAN & DEMOLITION FIRST FLOOR REFLECTED CEILING PLAN
ESSEX CIVIC CENTRE INTERIOR RENOVATIONS
380 FAIRVIEW AVE. W., ESSEX, ON.
PROJECT NO. 2620-B
SHEET D2



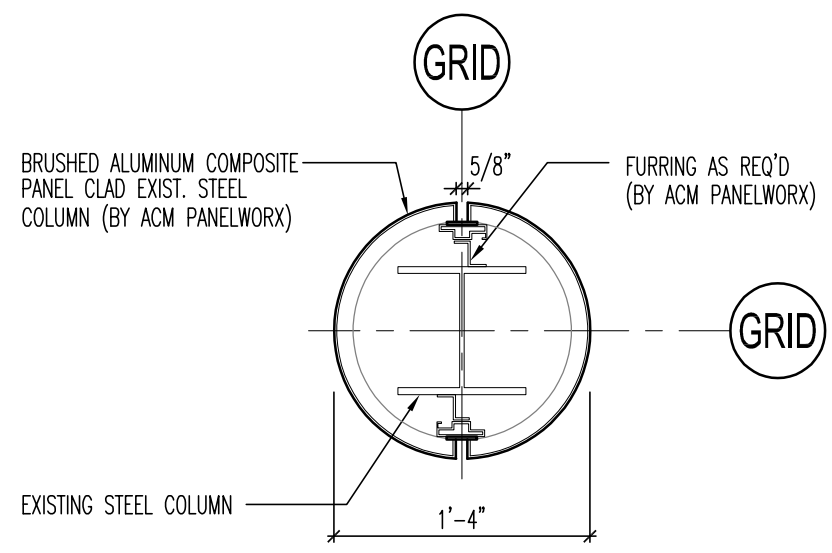
LEGEND - REFLECTED CEILING PLAN

[Symbol]	GYPSON BOARD CEILING	[Symbol]	1' x 4' LED RECESSED LIGHTING FIXTURE (SEE ELEC. DWGS.)
[Symbol]	USG / CCG 3" WIDE PARALINE PLUS LINEAR METAL CEILING SYSTEM	[Symbol]	3" RECESSED LED LIGHTING FIXTURE (SEE ELEC. DWGS.)
[Symbol]	2' x 2' CEILING TILE	[Symbol]	RECESSED POT LIGHT FIXTURE (SEE ELEC. DWGS.)
[Symbol]	2' x 6' CEILING TILE	[Symbol]	SUSPENDED LED LIGHTING FIXTURE (SEE ELEC. DWGS.)
[Symbol]	CEILING HEIGHT ELEVATION	[Symbol]	SUSPENDED LED LIGHTING FIXTURE (SEE ELEC. DWGS.)
[Symbol]	2' x 2' SUPPLY DIFFUSER (SEE MECH. DWGS.)	[Symbol]	RETURN AIR GRILLE (SEE MECH. DWGS.)
[Symbol]	NEW WALLS TO UNDERSIDE OF DECK	[Symbol]	LINEAR RETURN AIR GRILLE (SEE MECH. DWGS.)
		[Symbol]	LINEAR SUPPLY DIFFUSER (SEE MECH. DWGS.)
		[Symbol]	WALLS TO BE 6" ABOVE FINISH CEILING

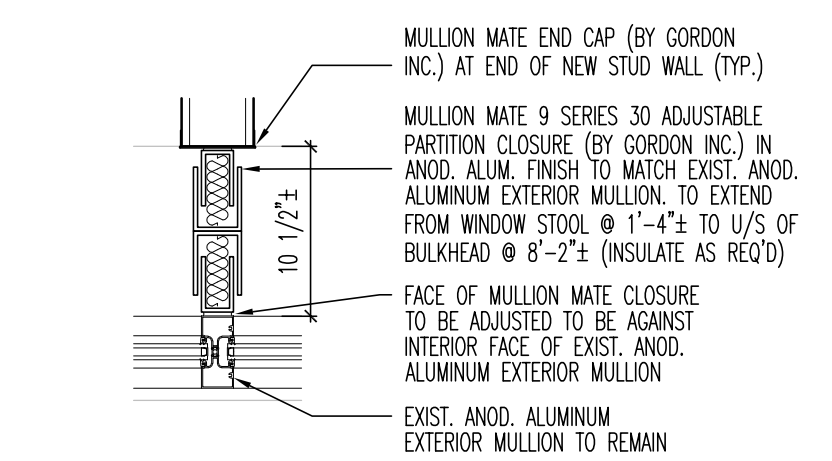


WALL TYPES

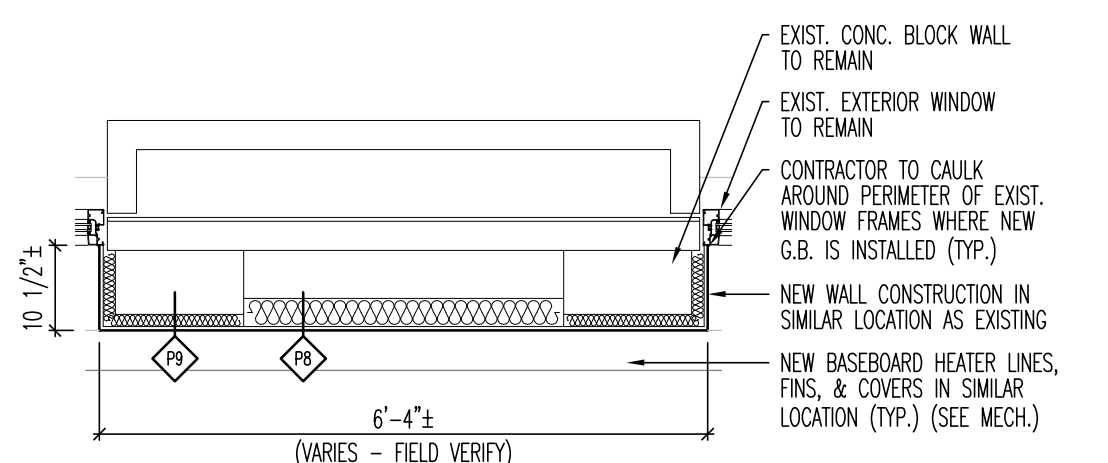
P1	1/2" GYPSON BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1/2" GYPSON BOARD	P5	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYP. BOARD	P9	1/2" GYPSON BOARD ON 6 MIL POLY VAPOUR BARRIER ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON EXIST. WALL CONSTRUCTION
P2	1/2" GYPSON BOARD ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD	P6	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON EXIST. WALL CONSTRUCTION ON 1/2" GYPSON BOARD	P10	KOROSAL "REATIC" DECORATIVE ARCHITECTURAL FILM ON 1/2" GYPSON BOARD ON 6 MIL POLY VAPOUR BARRIER ON 2" METAL STUDS @ 16" O.C. C/W 1-5/8" BATT INSULATION ON EXISTING CONCRETE BLOCK FACE
P3	1/2" GYPSON BOARD ON 2-1/2" METAL STUDS @ 16" O.C. ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD	P7	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1/2" GYPSON BOARD	P11	KOROSAL "REATIC" DECORATIVE ARCHITECTURAL FILM ON 1/2" GYPSON BOARD ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD
P4	1/2" GYPSON BOARD ON 2-1/2" METAL STUDS @ 16" O.C. ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD	P8	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1/2" GYPSON BOARD	P12	5/8" TYPE "X" GYPSON BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1-5/8" BATT INSULATION ON EXISTING CONCRETE BLOCK FACE
P5	1/2" GYPSON BOARD ON 2-1/2" METAL STUDS @ 16" O.C. ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD	P9	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1/2" GYPSON BOARD	P13	1/2" GYPSON BOARD ON 6 MIL POLY VAPOUR BARRIER ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON EXISTING CONCRETE BLOCK FACE
P6	1/2" GYPSON BOARD ON 2-1/2" METAL STUDS @ 16" O.C. ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD	P10	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1/2" GYPSON BOARD	P14	1/2" GYPSON BOARD ON 6 MIL POLY VAPOUR BARRIER ON 2" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON EXIST. WALL CONSTRUCTION
P7	1/2" GYPSON BOARD ON 2-1/2" METAL STUDS @ 16" O.C. ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD	P11	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1/2" GYPSON BOARD		
P8	1/2" GYPSON BOARD ON 2-1/2" METAL STUDS @ 16" O.C. ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD	P12	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1/2" GYPSON BOARD		
P9	1/2" GYPSON BOARD ON 2-1/2" METAL STUDS @ 16" O.C. ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD	P13	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1/2" GYPSON BOARD		
P10	1/2" GYPSON BOARD ON 2-1/2" METAL STUDS @ 16" O.C. ON 3-5/8" METAL STUDS @ 16" O.C. C/W 3-1/2" OWENS CORNING "QUIET-ZONE" BATT INSULATION ON 1/2" GYPSON BOARD	P14	PORCELAIN WALL TILE ON MORTAR BED ON 1/2" BACKER BOARD ON 3-5/8" METAL STUDS @ 16" O.C. ON 1/2" GYPSON BOARD		



TYPICAL ACCENT COLUMN ENCLOSURE DETAIL
SCALE: 1" = 1'-0"



MULLION MATE DETAIL
SCALE: 1" = 1'-0"



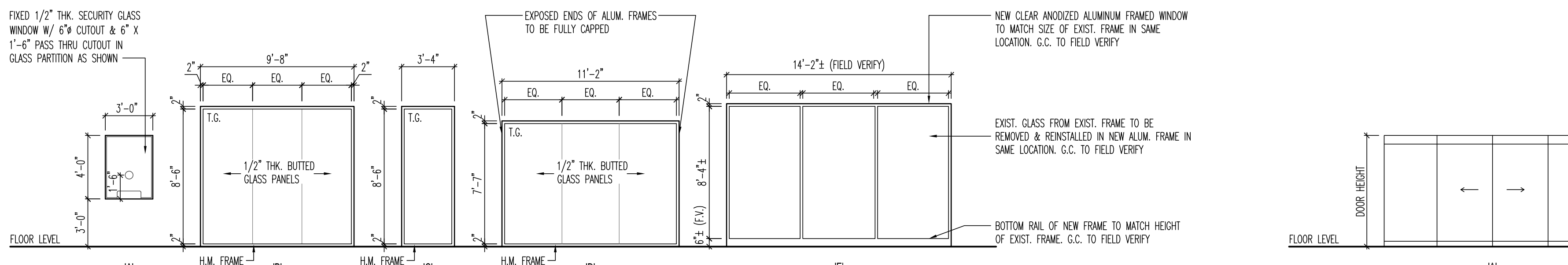
ENLARGED INFILL PLAN DETAIL
SCALE: 1/2" = 1'-0"

ROOM FINISH SCHEDULE table with columns: ROOM No., ROOM NAME, FLOOR, BASE, WALL, CEILING, HEIGHT, REMARKS. Lists 133 rooms including Lobby, Reception, Waiting Room, Corridor, Interview Room, Small Meeting Room, Storage, Kitchenette, Extra Office, H.S. Staff, Meeting Room, Office, Break-out, Director of HR, Working Space, Janitor, etc.

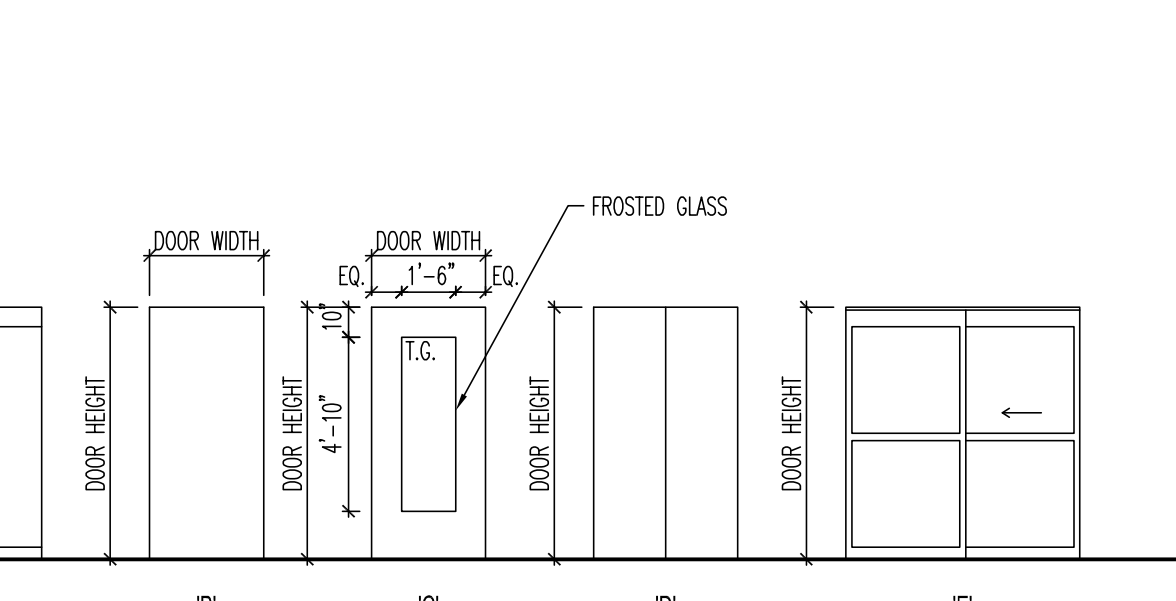
NOTES: NABCO WHISPER SLIDE G11175-13 BI-PART (OR SINGLE SLIDER) FULL BREAKOUT DOORS W/ SIDELIGHTS AND TRANSOM (SEE ELEVATIONS). ALL UNITS TO BE COMPLETE WITH ACCESSORS & KEYS LOCKOUT SWITCH. SEE ELEC. FOR POWER REQUIREMENTS - ALL WIRING, CONDUIT AND CONNECTIONS TO BE BY ELECTRICAL CONTRACTOR.

DOOR SCHEDULE table with columns: DOOR NO., DOOR SIZE, TYPE, DOOR, FRAME, ELEV., FIRE RATING, LOCKSET, FINANCY SET, PASSAGE SET, PUSH / PULL, CLOSURE, FLOOR STOP, ELEC. STRIKE, MOORPLATE, COMMENTS. Lists 37 doors with details on size, material, and hardware.

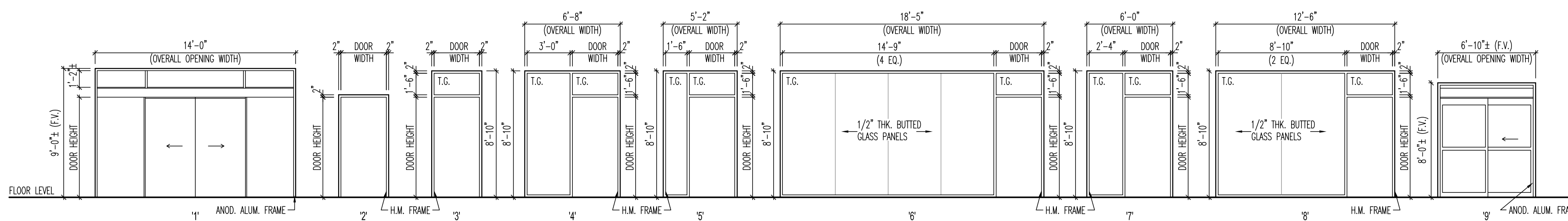
NOTES: NABCO WHISPER SLIDE G11175-13 BI-PART (OR SINGLE SLIDER) FULL BREAKOUT DOORS W/ SIDELIGHTS AND TRANSOM (SEE ELEVATIONS). ALL UNITS TO BE COMPLETE WITH ACCESSORS & KEYS LOCKOUT SWITCH. SEE ELEC. FOR POWER REQUIREMENTS - ALL WIRING, CONDUIT AND CONNECTIONS TO BE BY ELECTRICAL CONTRACTOR.



WINDOW TYPE
SCALE: 3/16" = 1'-0"

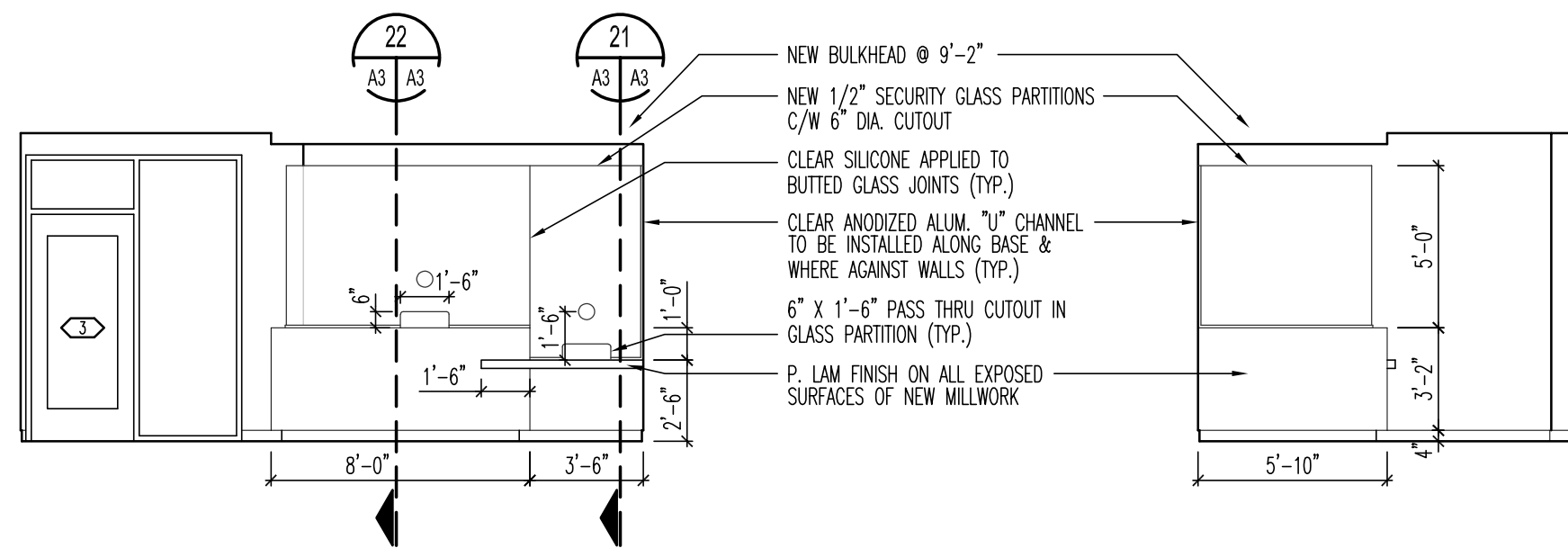


DOOR TYPE
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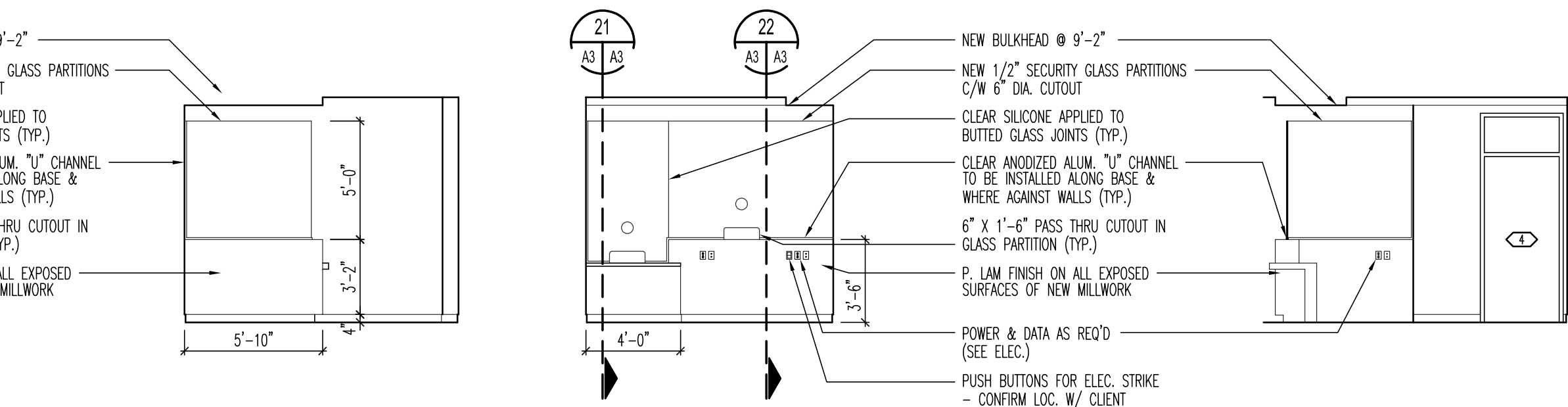


FRAME TYPE
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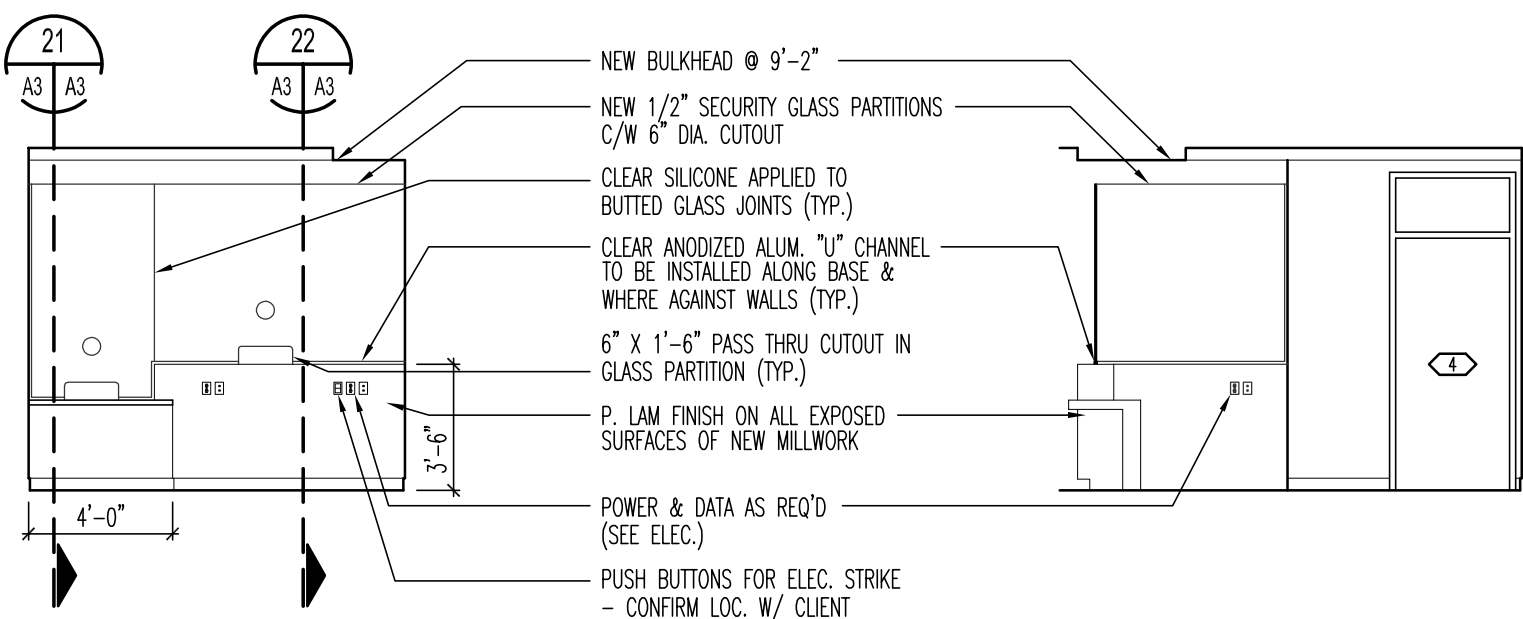
NOTES: 1. 10" DEEP x 8" WIDE x 1 1/4" THK. PLASTIC LAMINATE FINISHED SILL. OUTSIDE EDGE OF SILL & WALL FACE BELOW TO ALIGN W/ INSIDE FACE OF DRYWALL ABOVE (TYP.)
2. UNDER SILL WALL CONSTRUCTION...
3. UNDER SILL WALL CONSTRUCTION...



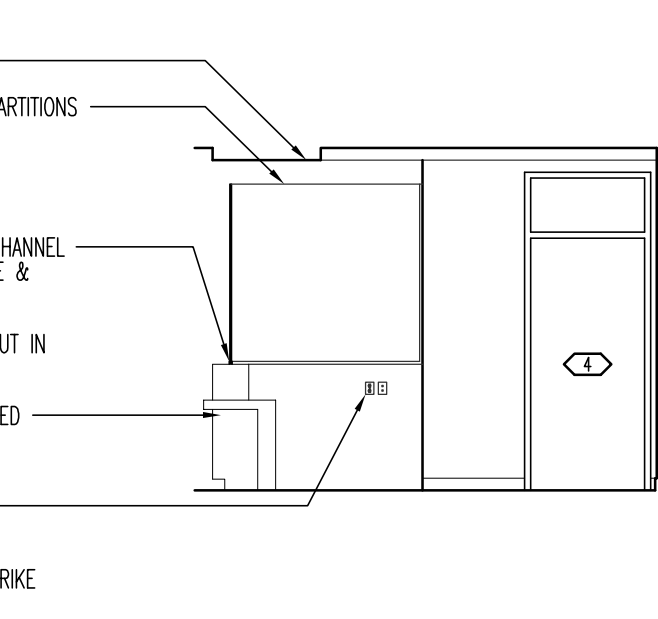
1 LOBBY (RM.100) RECEPTION DESK ELEV.
SCALE: 3/16" = 1'-0"



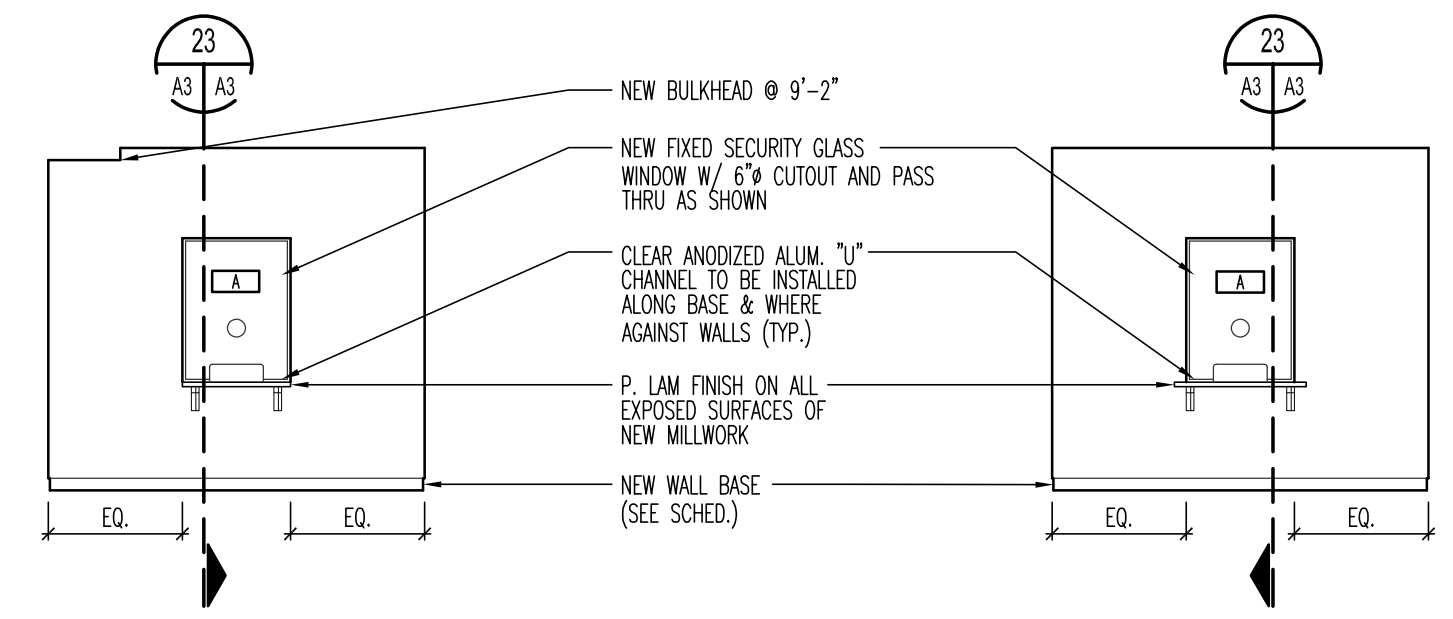
2 LOBBY (RM.100) RECEPTION DESK ELEV.
SCALE: 3/16" = 1'-0"



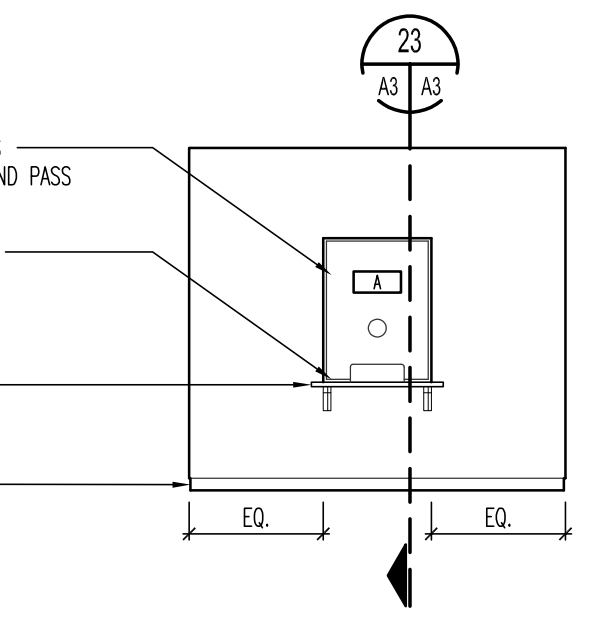
3 RECEPTION (RM.101) DESK ELEV.
SCALE: 3/16" = 1'-0"



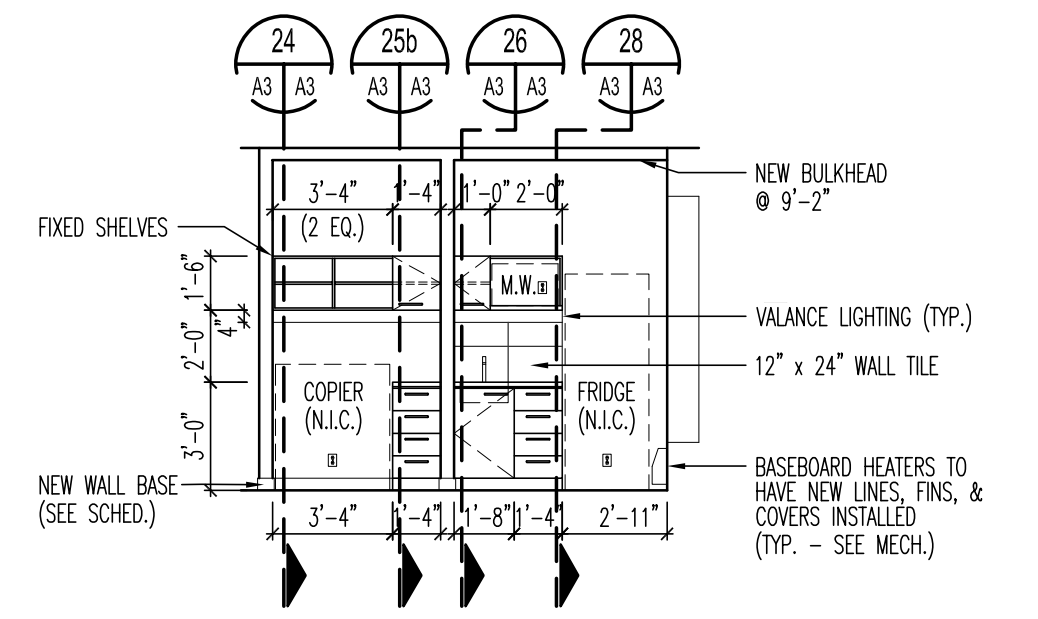
4 RECEPTION (RM.101) DESK ELEV.
SCALE: 3/16" = 1'-0"



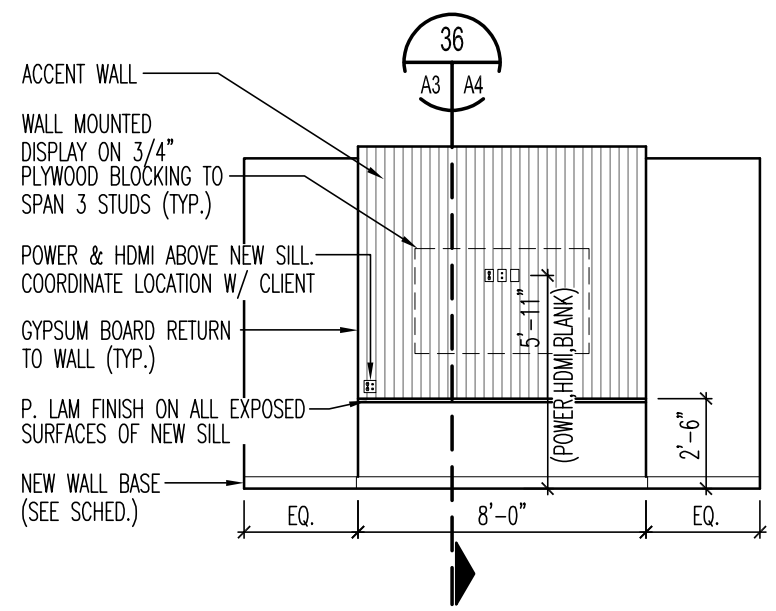
5 RECEPTION (RM.101) WINDOW ELEV.
SCALE: 3/16" = 1'-0"



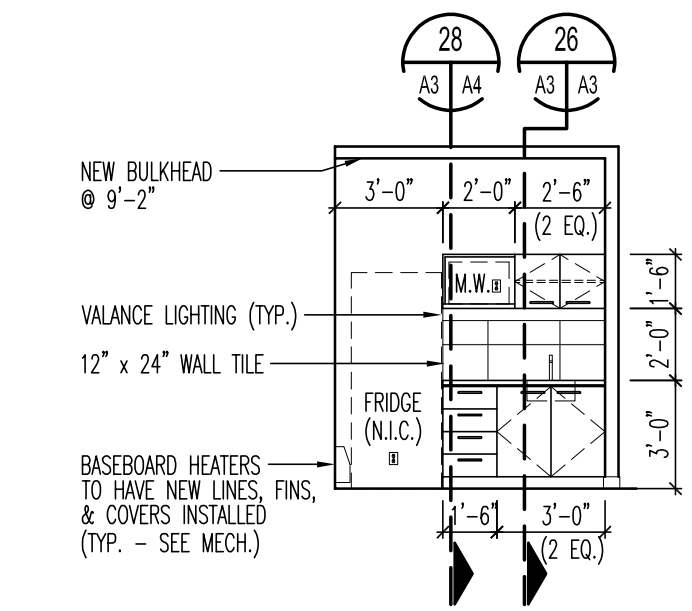
6 WAITING (RM.102) WINDOW ELEV.
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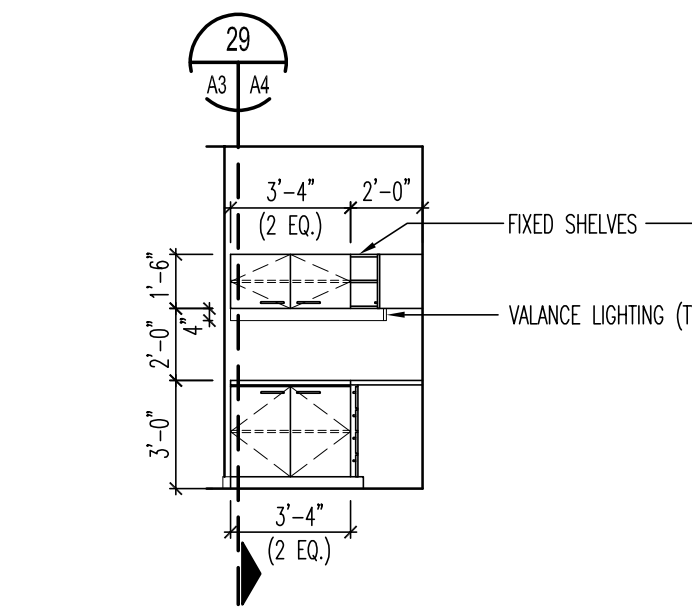
7 KITCHENETTE (RM.107) ELEV.
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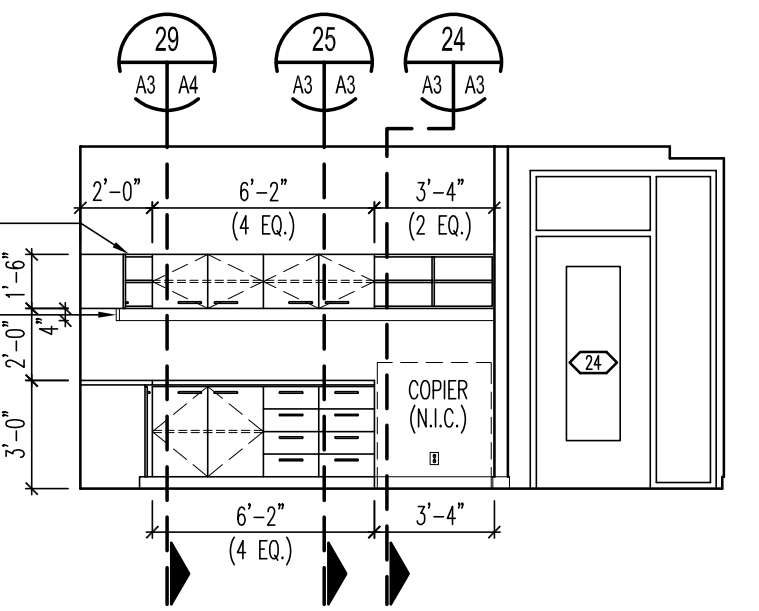
8 MEETING RM. (RM.113) ELEV.
SCALE: 3/16" = 1'-0"



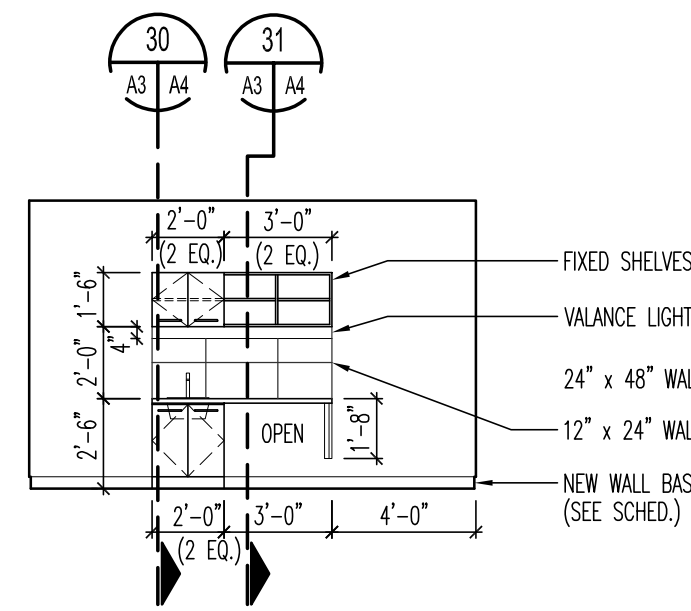
9 KITCHENETTE (RM.129) ELEV.
SCALE: 3/16" = 1'-0"



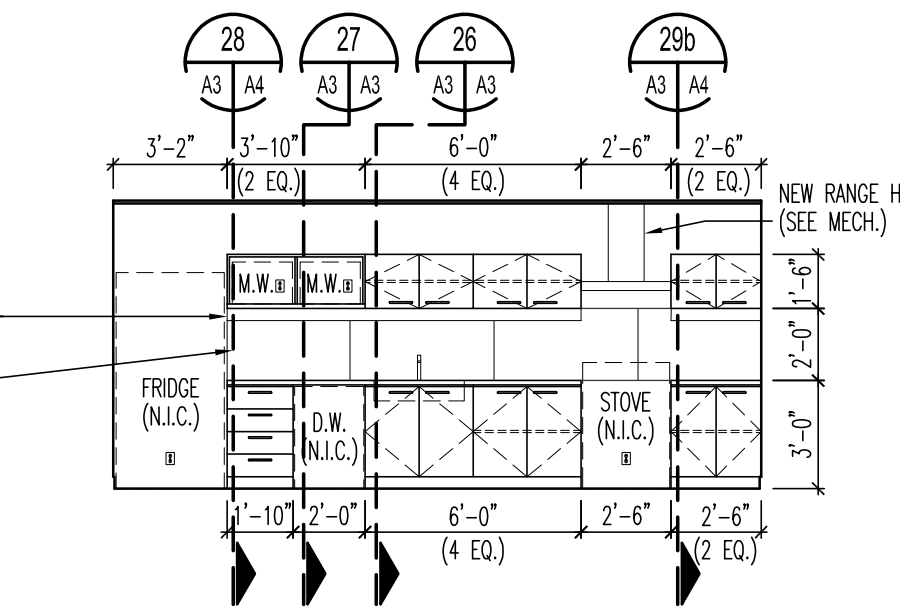
10 WORKING SPACE (RM.130) ELEV.
SCALE: 3/16" = 1'-0"



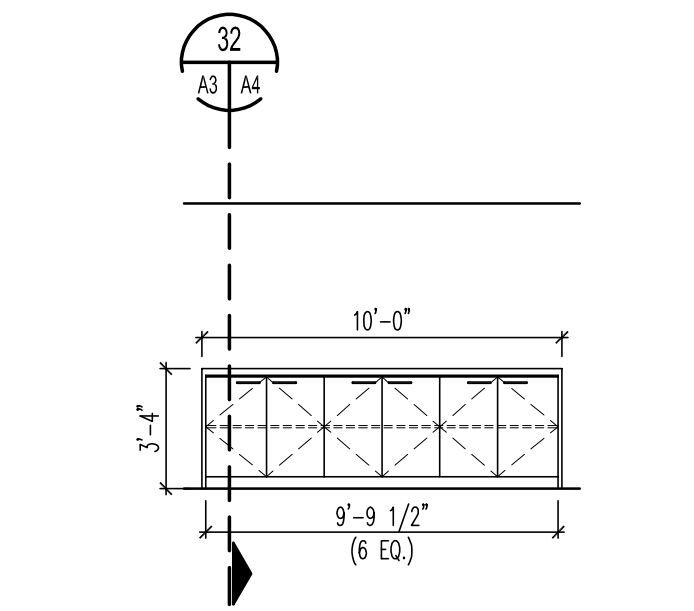
11 WORKING SPACE (RM.130) ELEV.
SCALE: 3/16" = 1'-0"



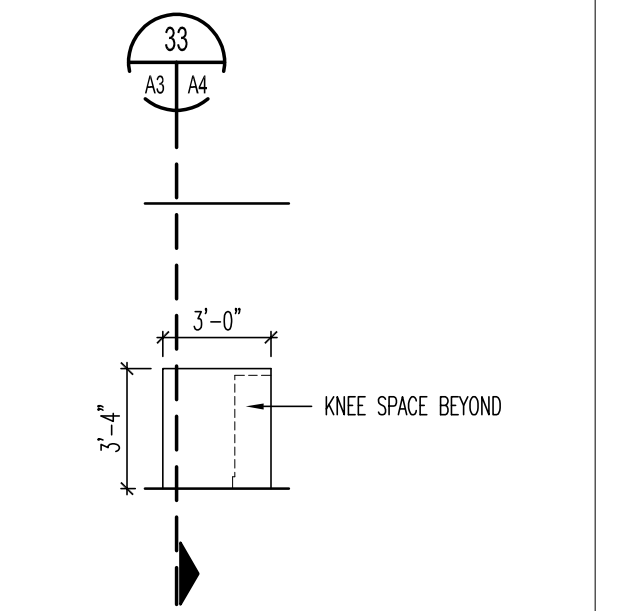
12 FIRST AID (RM.131) ELEV.
SCALE: 3/16" = 1'-0"



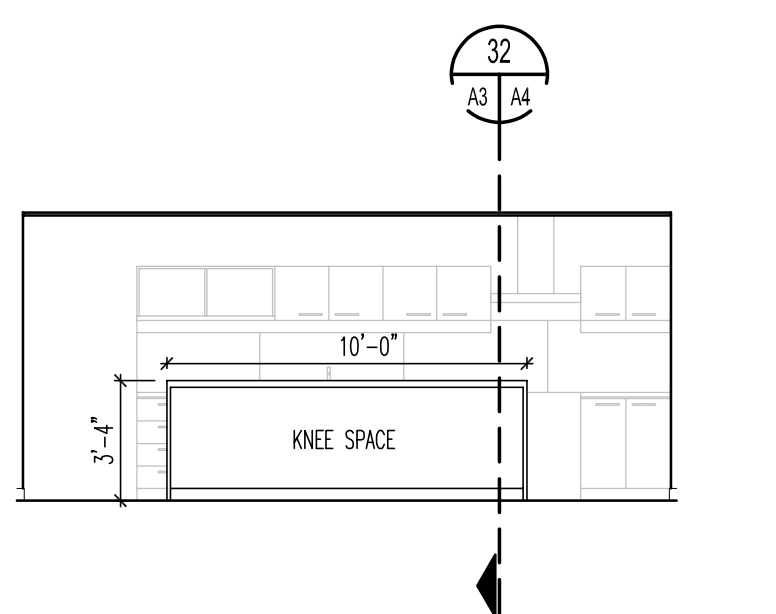
13 CAFETERIA (RM.132) ELEV.
SCALE: 3/16" = 1'-0"



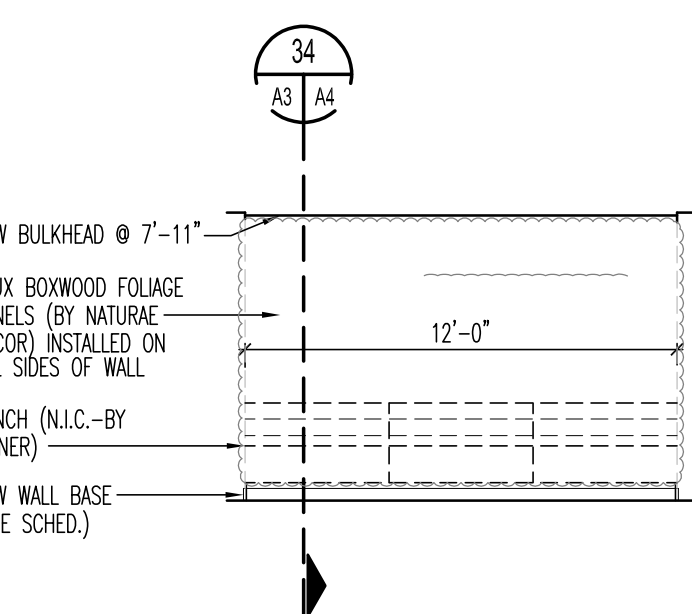
14 CAFETERIA ISLAND (RM.132) ELEV.
SCALE: 3/16" = 1'-0"



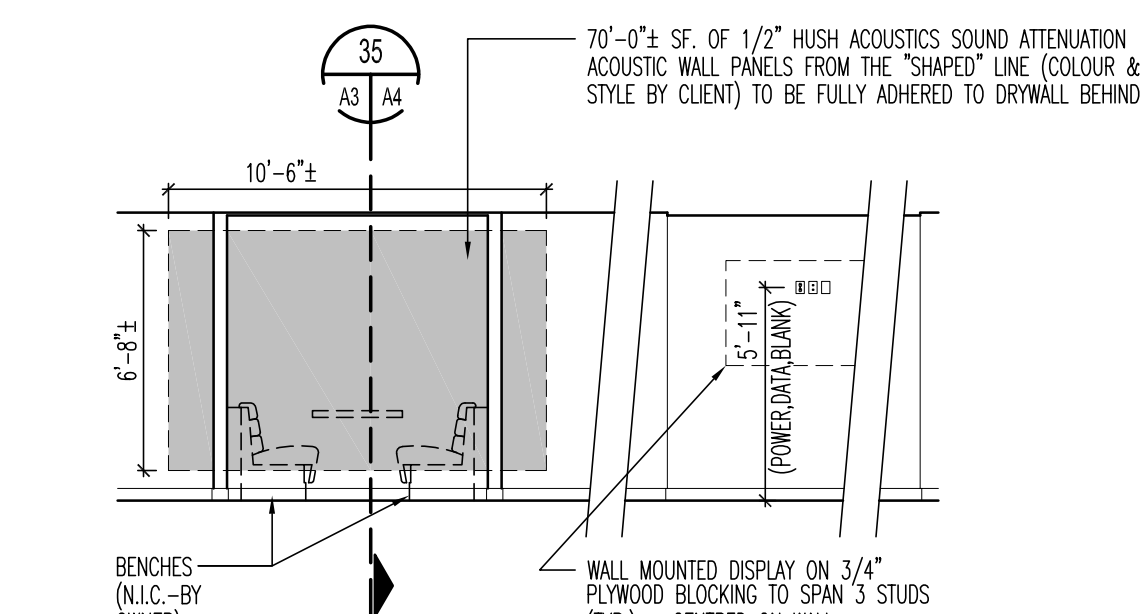
15 CAFETERIA ISLAND (RM.132) ELEV.
SCALE: 3/16" = 1'-0"



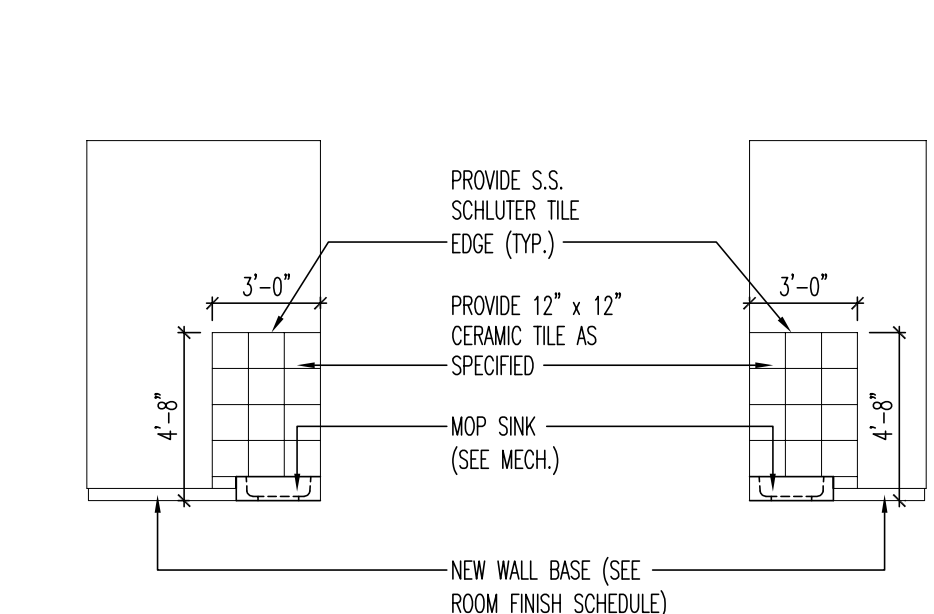
16 CAFETERIA (RM.132) ELEV.
SCALE: 3/16" = 1'-0"



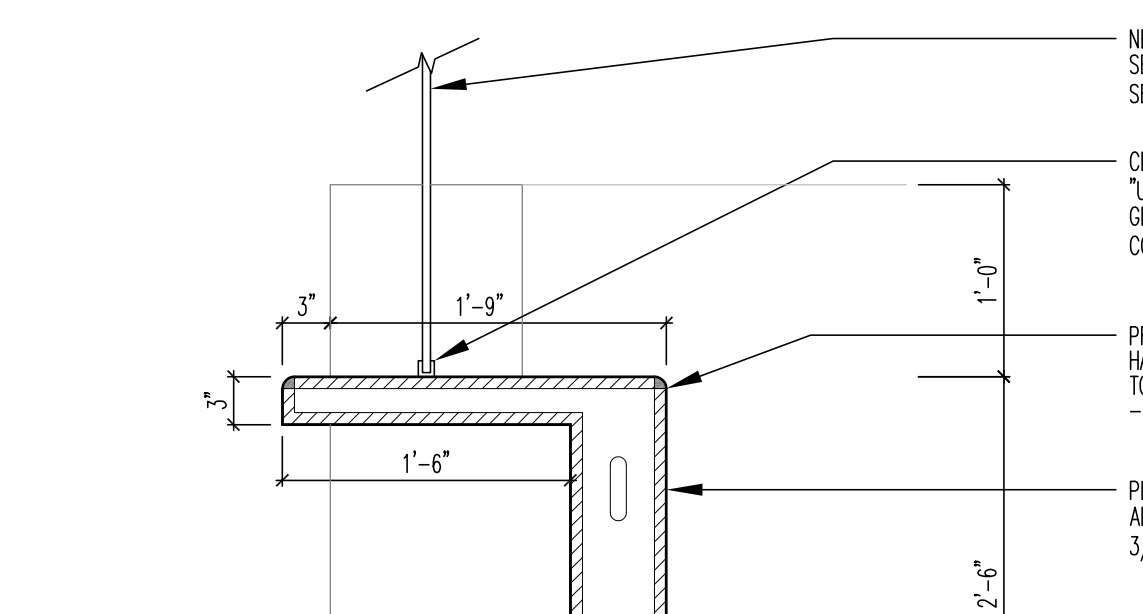
17 CAFETERIA (RM.132) ELEV.
SCALE: 3/16" = 1'-0"



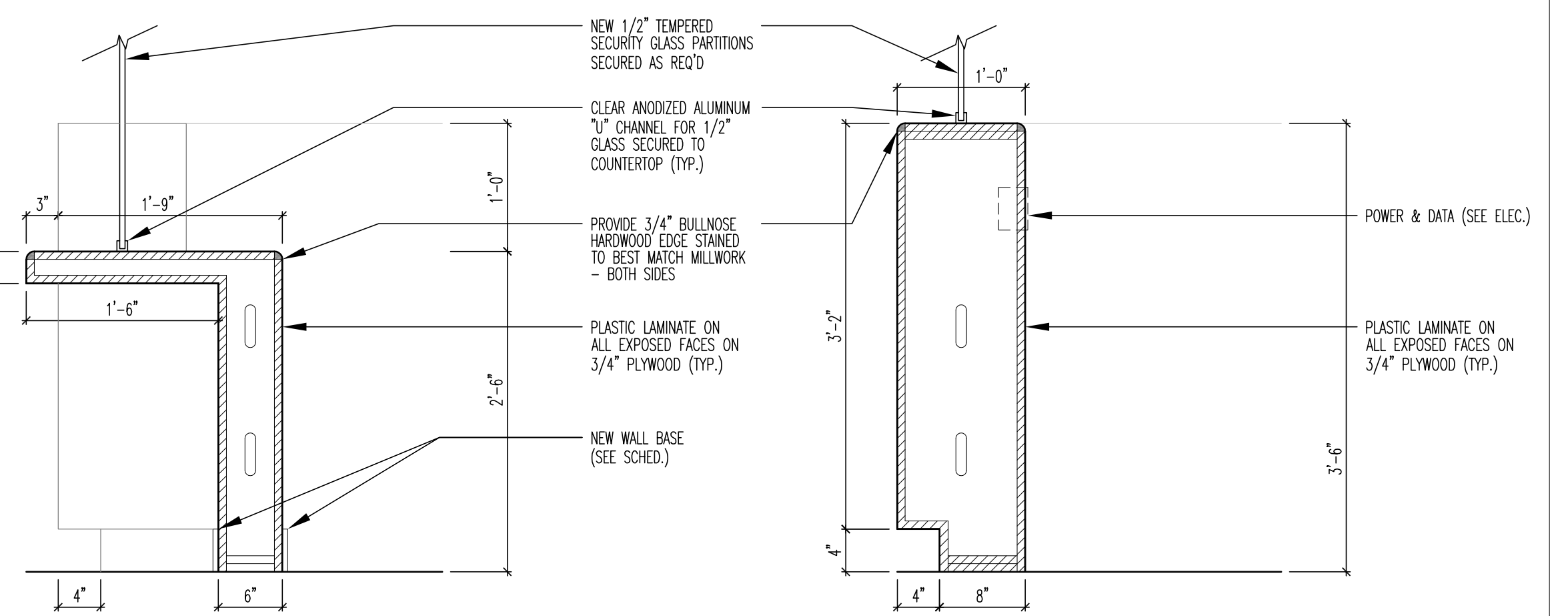
18 CAFETERIA (RM.132) ELEV.
SCALE: 3/16" = 1'-0"



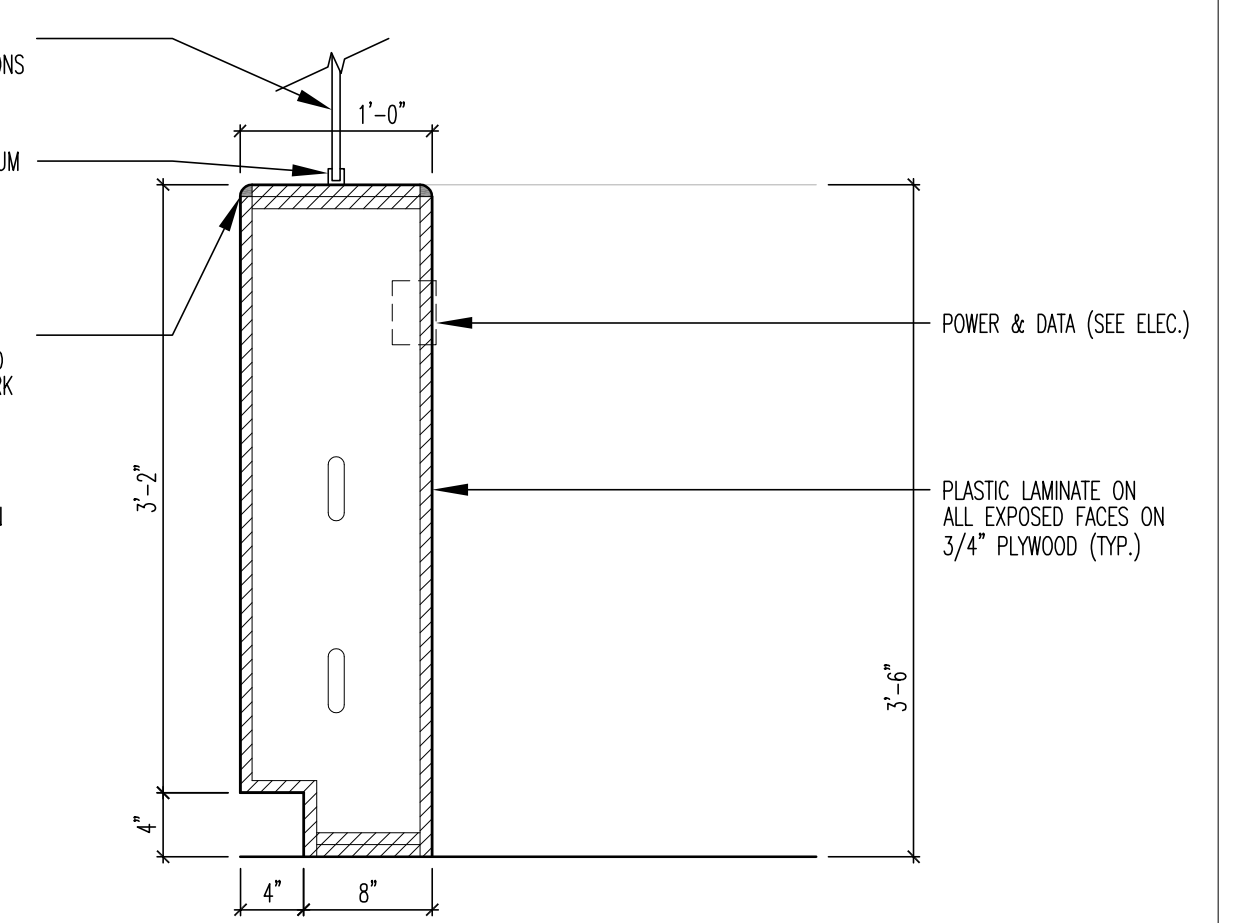
19 JANITOR (RM.133) ELEV.
SCALE: 3/16" = 1'-0"



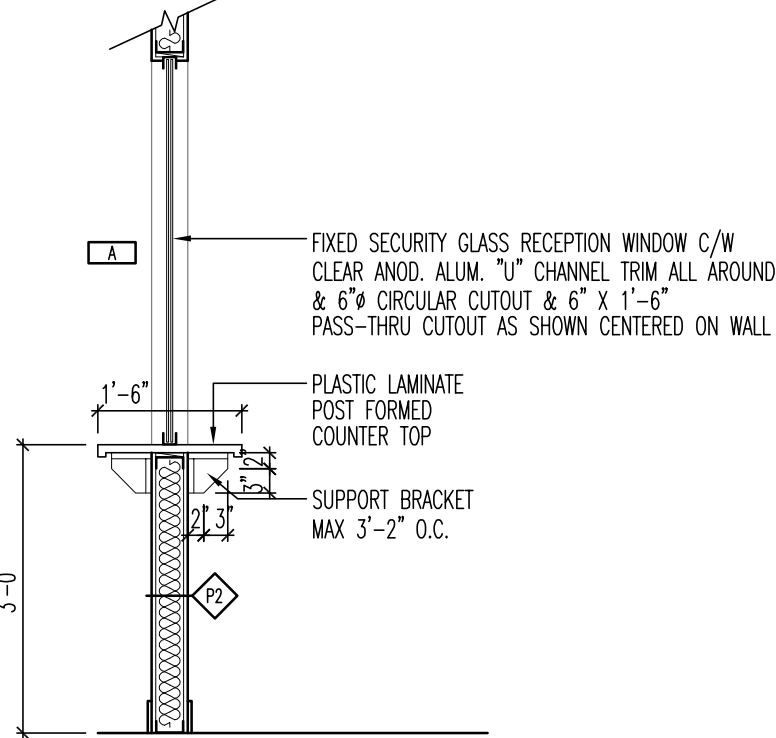
20 JANITOR (RM.133) ELEV.
SCALE: 3/16" = 1'-0"



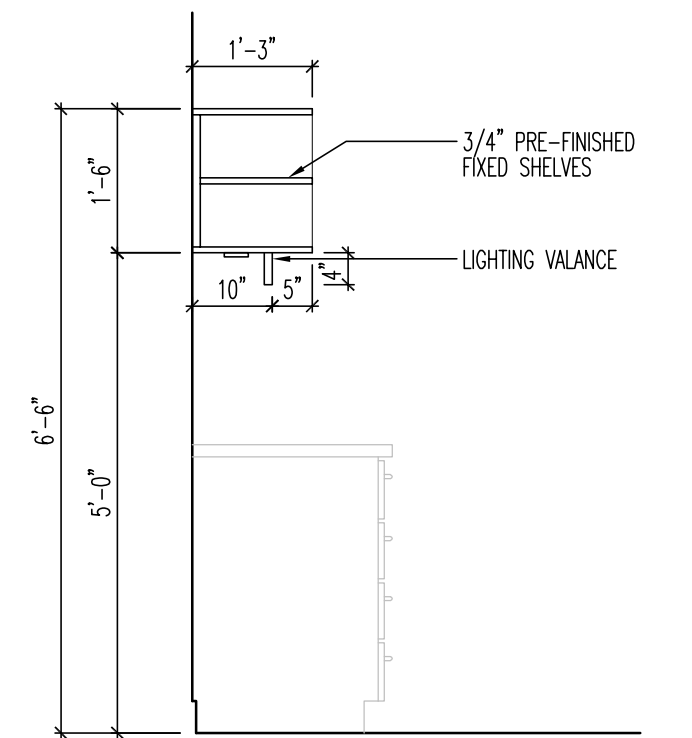
21 RECEPTION DESK SECTION
SCALE: 1" = 1'-0"



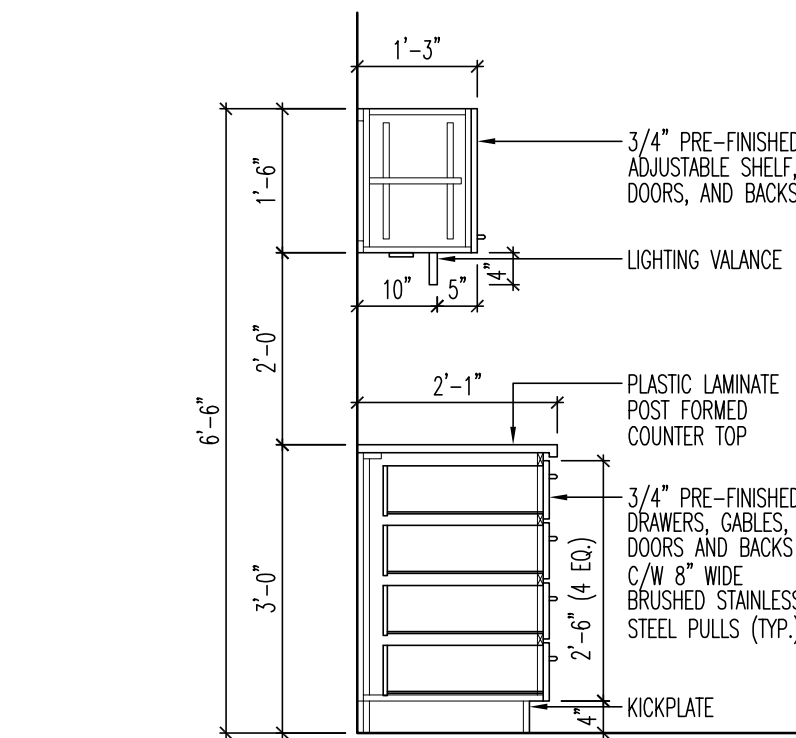
22 RECEPTION DESK SECTION
SCALE: 1" = 1'-0"



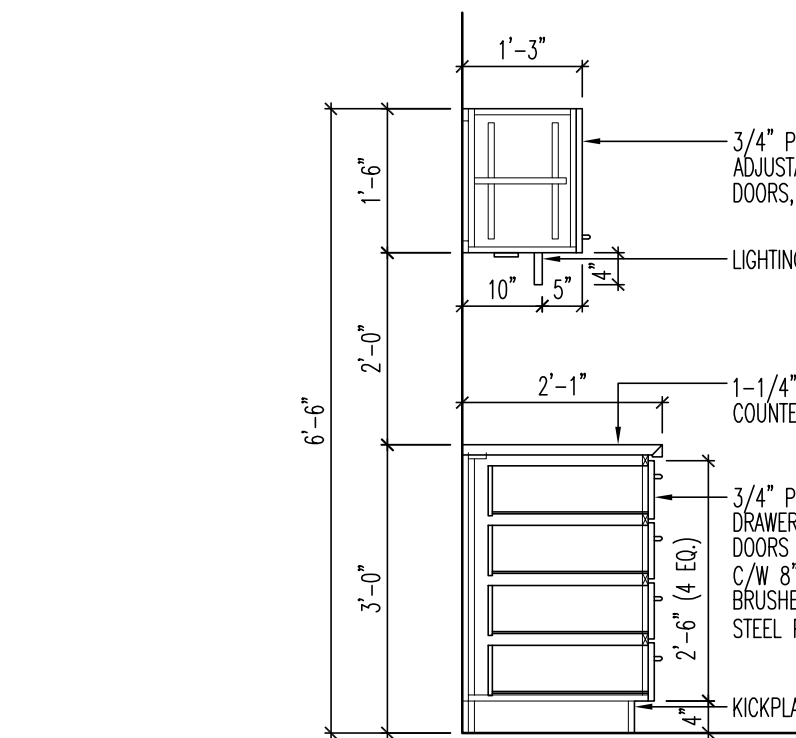
23 RECEPTION WINDOW SECTION
SCALE: 1/2" = 1'-0"



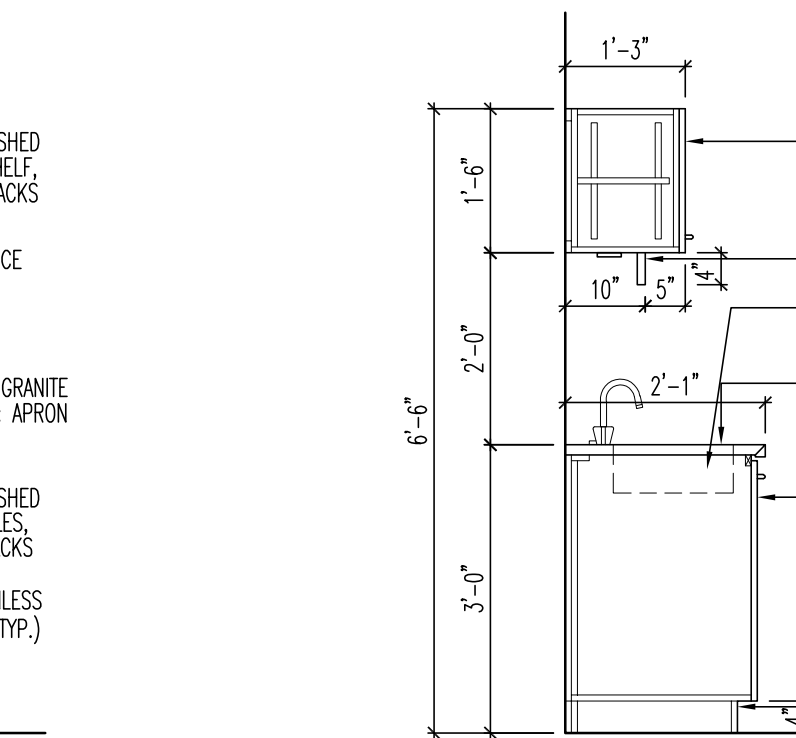
24 CABINET SECTION
SCALE: 1/2" = 1'-0"



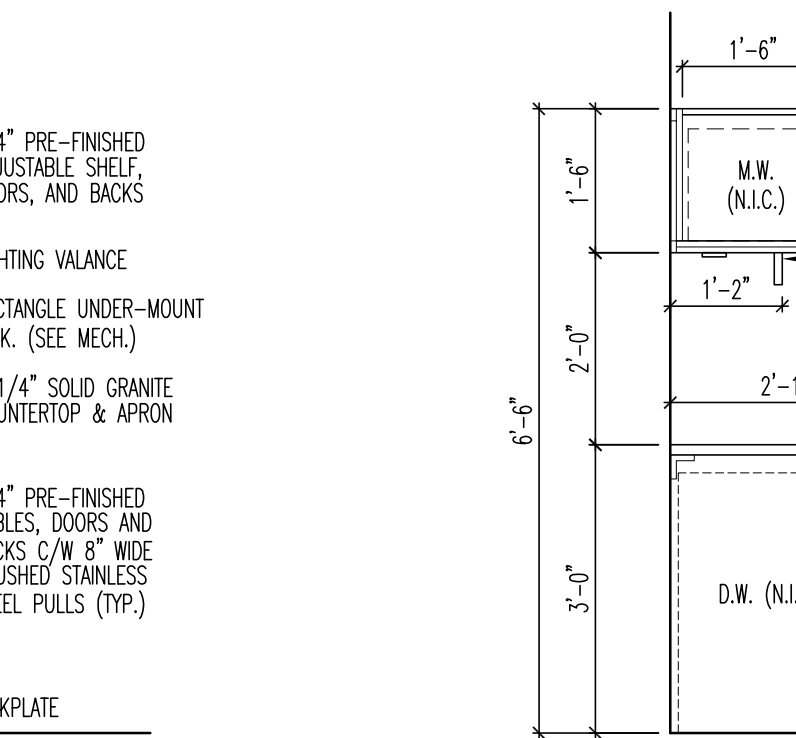
25 CABINET SECTION
SCALE: 1/2" = 1'-0"



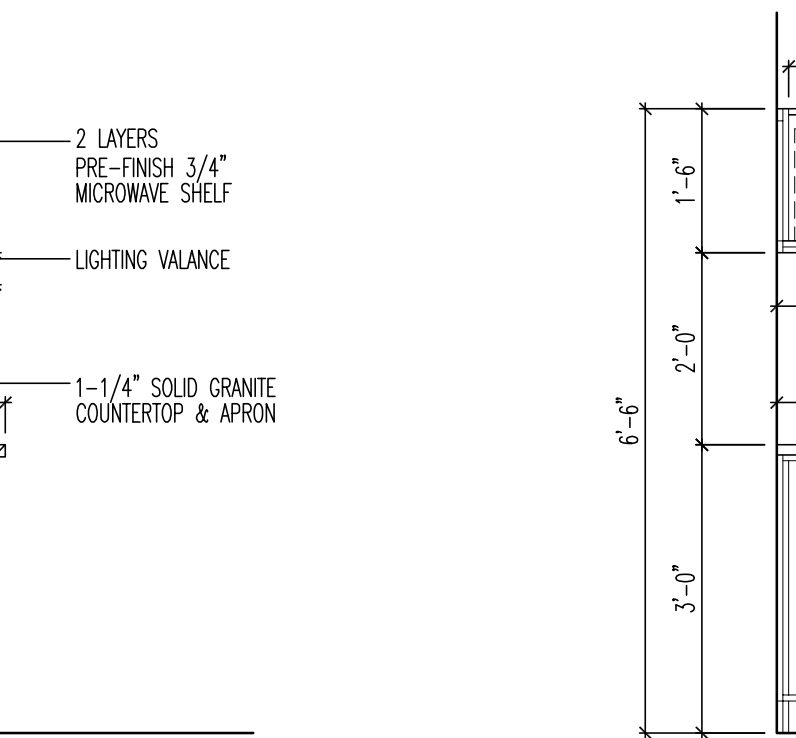
25b CABINET SECTION
SCALE: 1/2" = 1'-0"



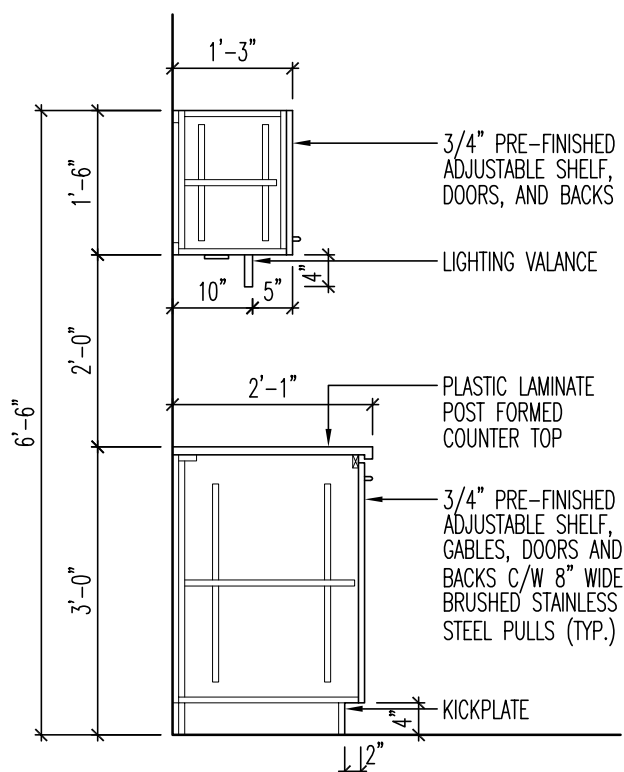
26 CABINET SECTION
SCALE: 1/2" = 1'-0"



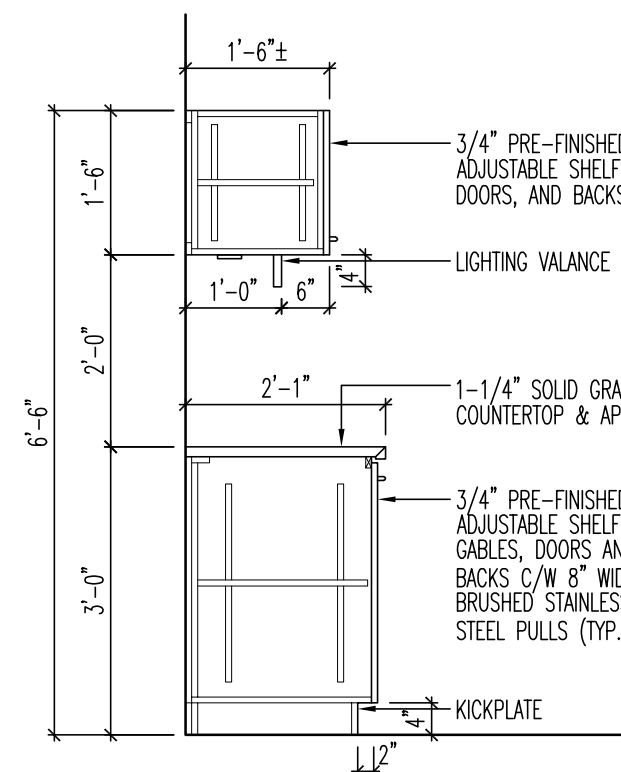
27 CABINET SECTION
SCALE: 1/2" = 1'-0"



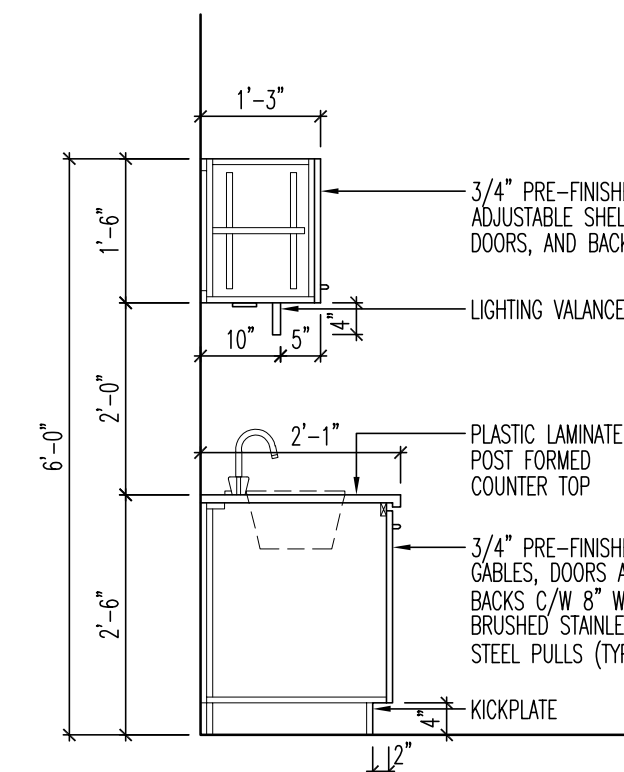
28 CABINET SECTION
SCALE: 1/2" = 1'-0"



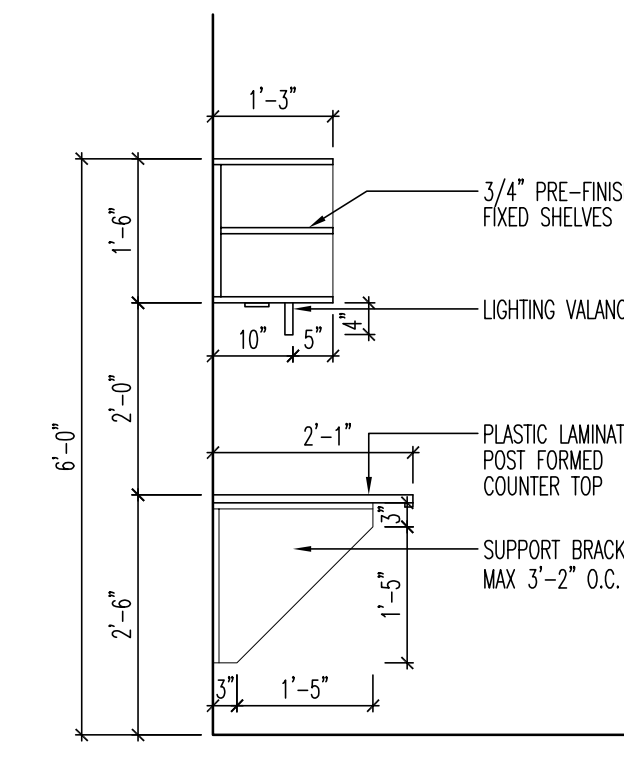
29 CABINET SECTION
SCALE: 1/2" = 1'-0"



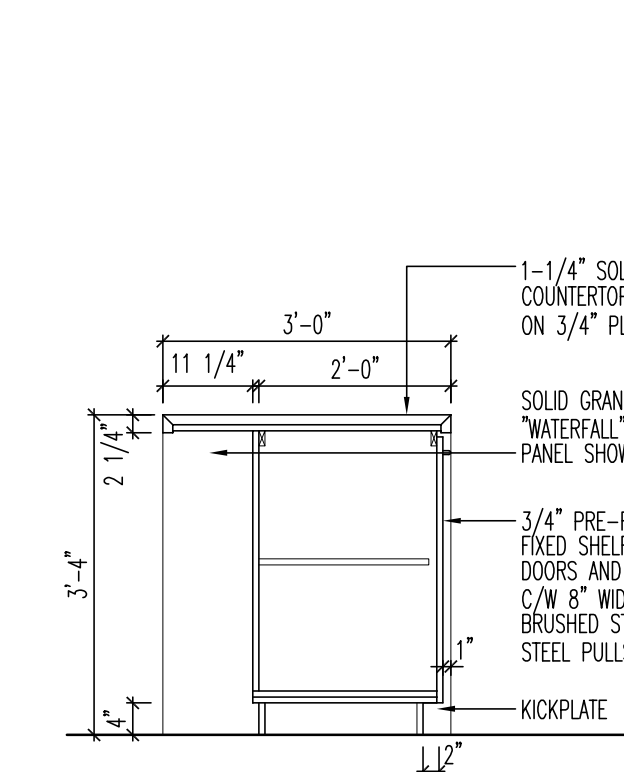
29b CABINET SECTION
SCALE: 1/2" = 1'-0"



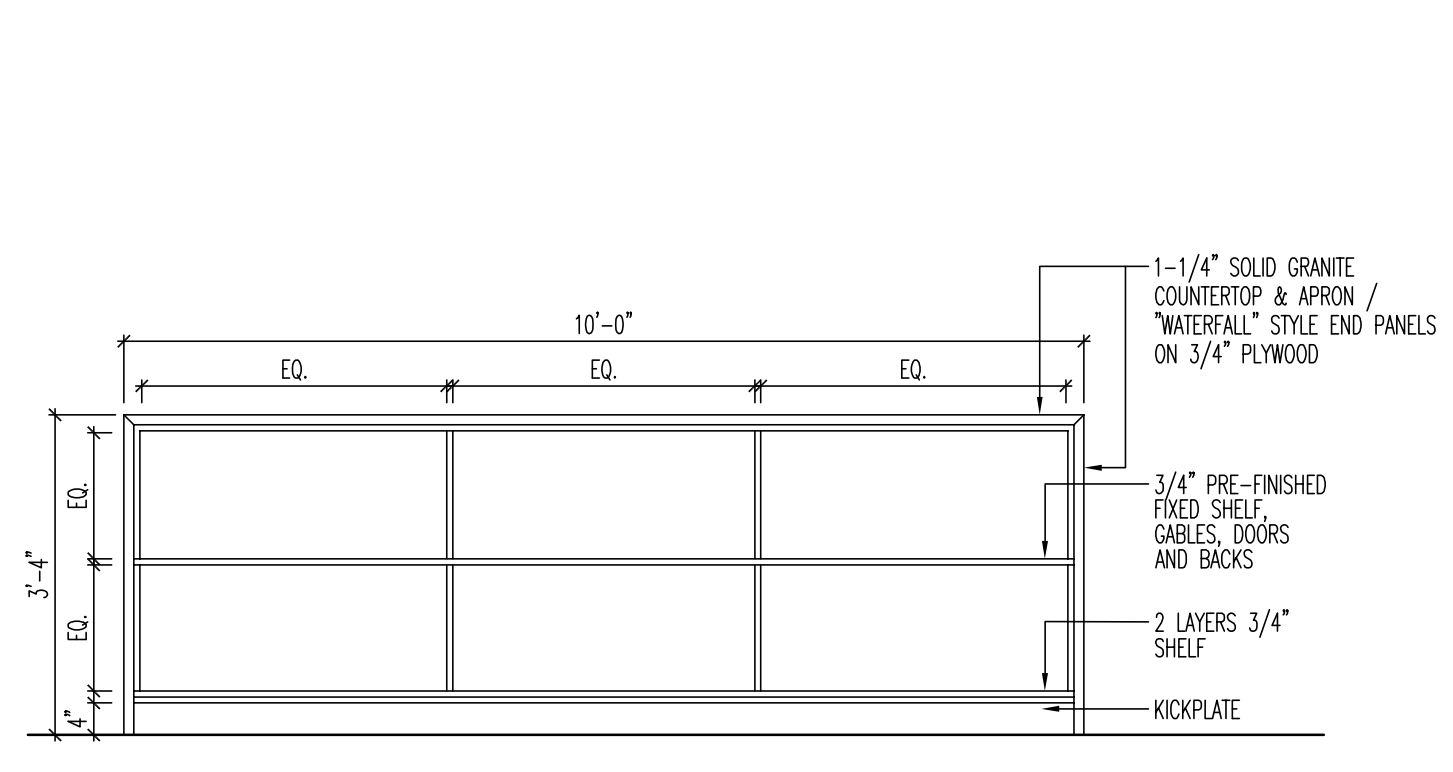
30 CABINET SECTION
SCALE: 1/2" = 1'-0"



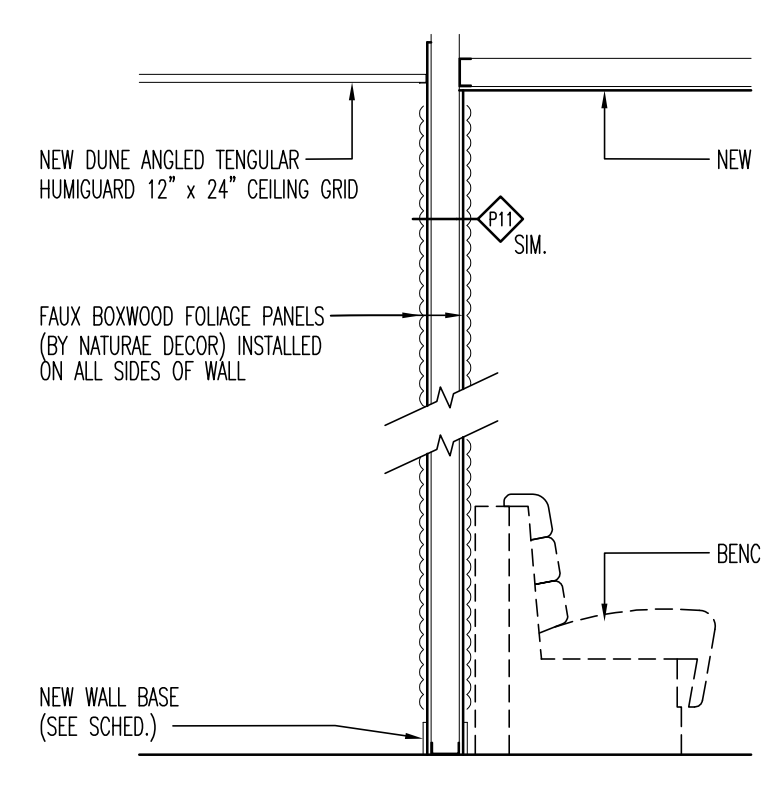
31 CABINET SECTION
SCALE: 1/2" = 1'-0"



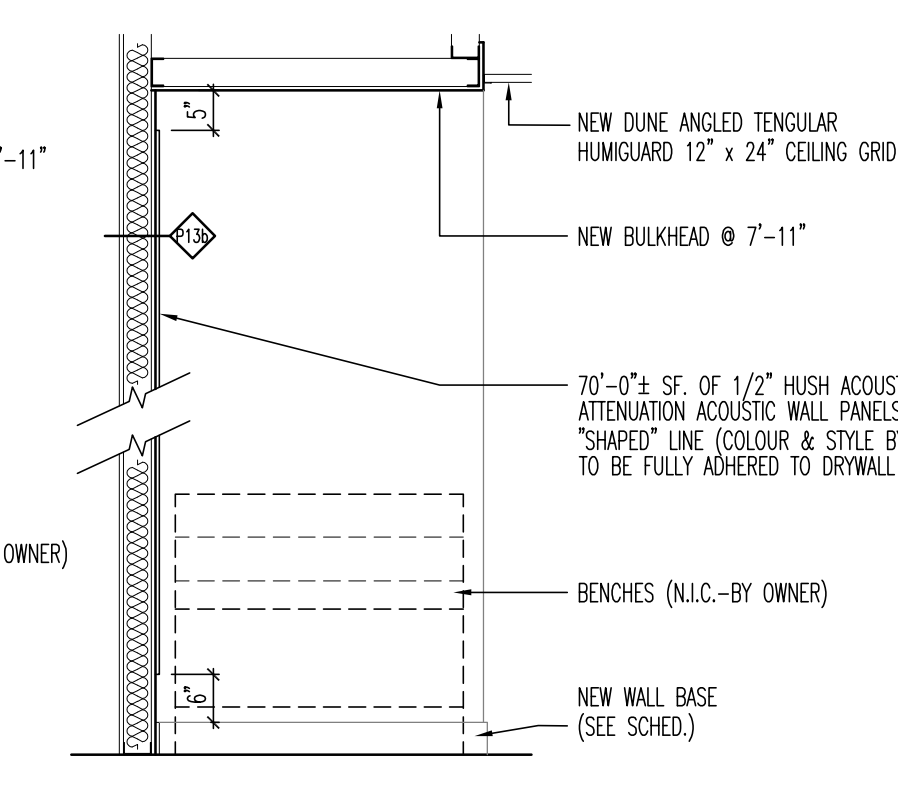
32 CAFETERIA COUNTER SECTION
SCALE: 1/2" = 1'-0"



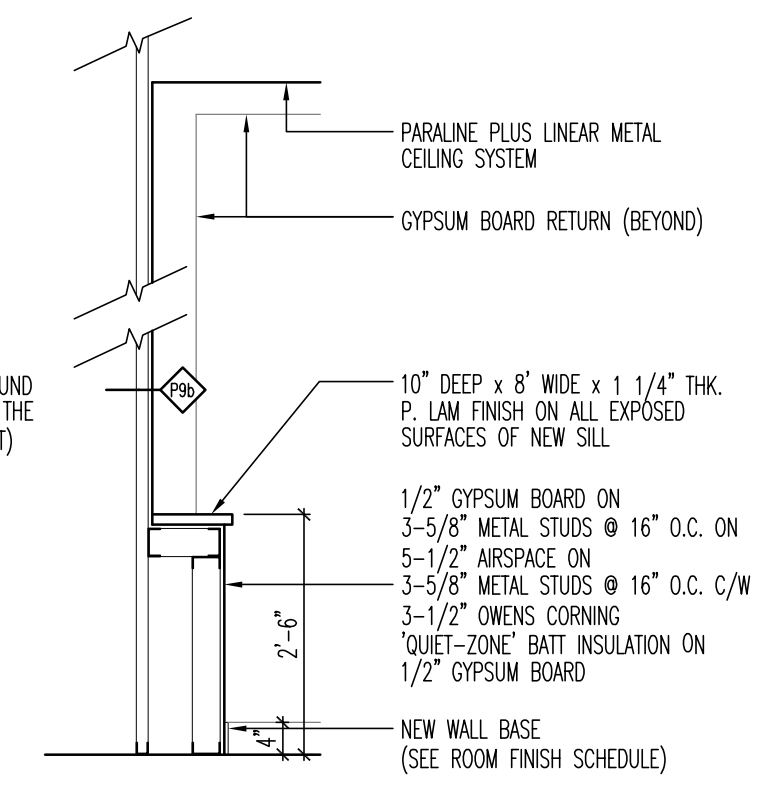
33 CAFETERIA COUNTER SECTION
SCALE: 1/2" = 1'-0"



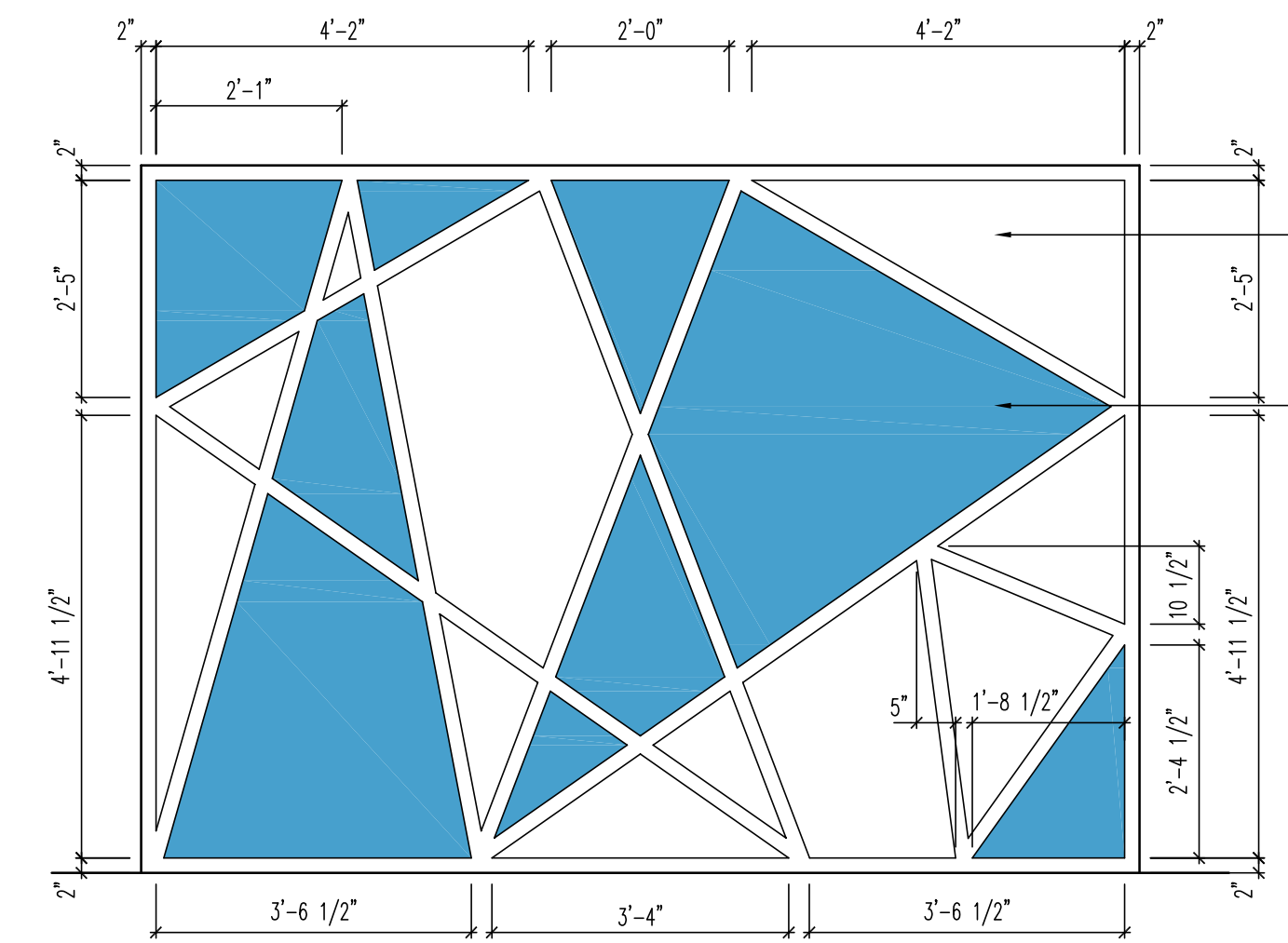
34 ACCENT WALL SECTION
SCALE: 1/2" = 1'-0"



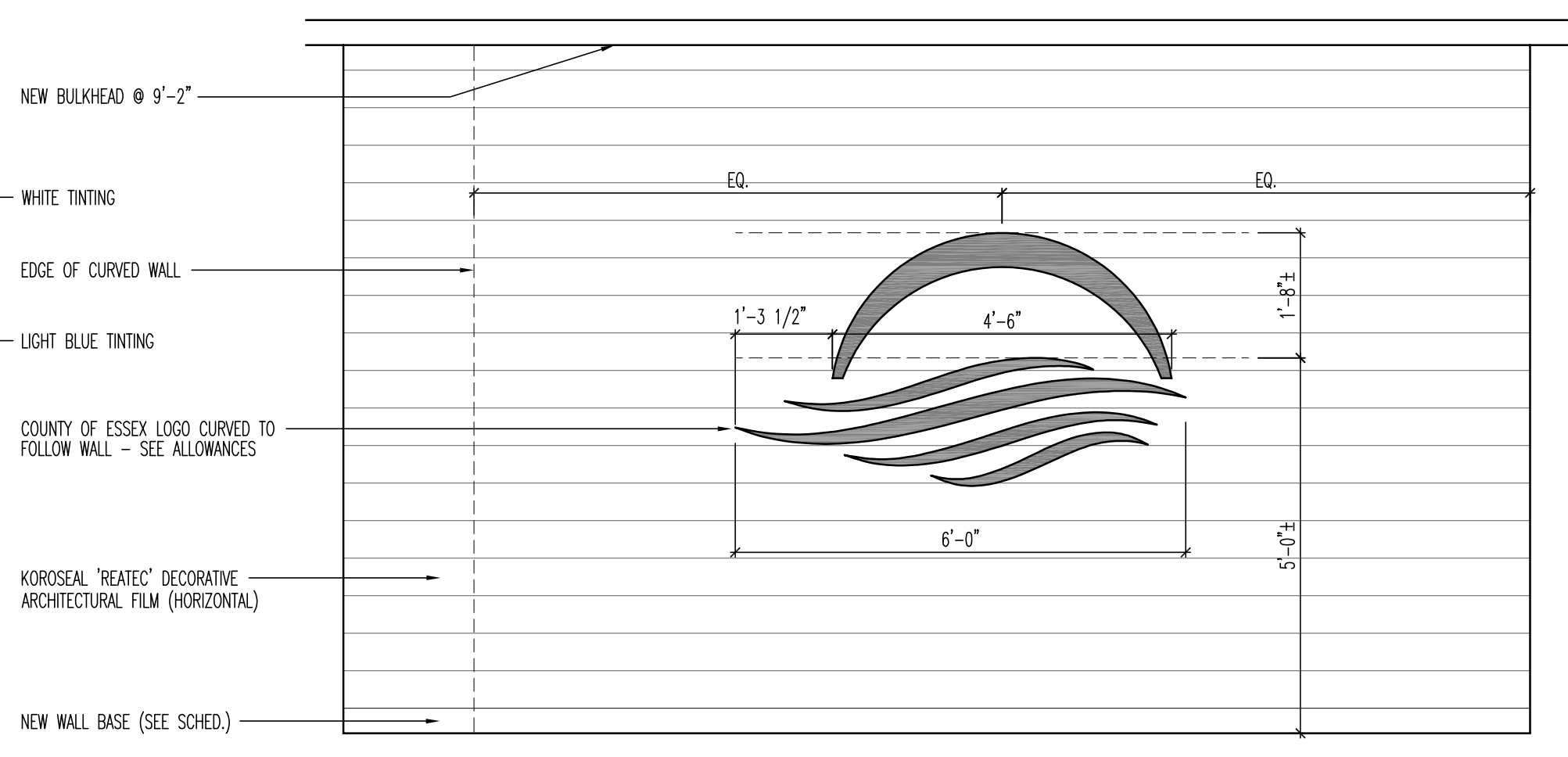
35 ACCENT WALL SECTION
SCALE: 1/2" = 1'-0"



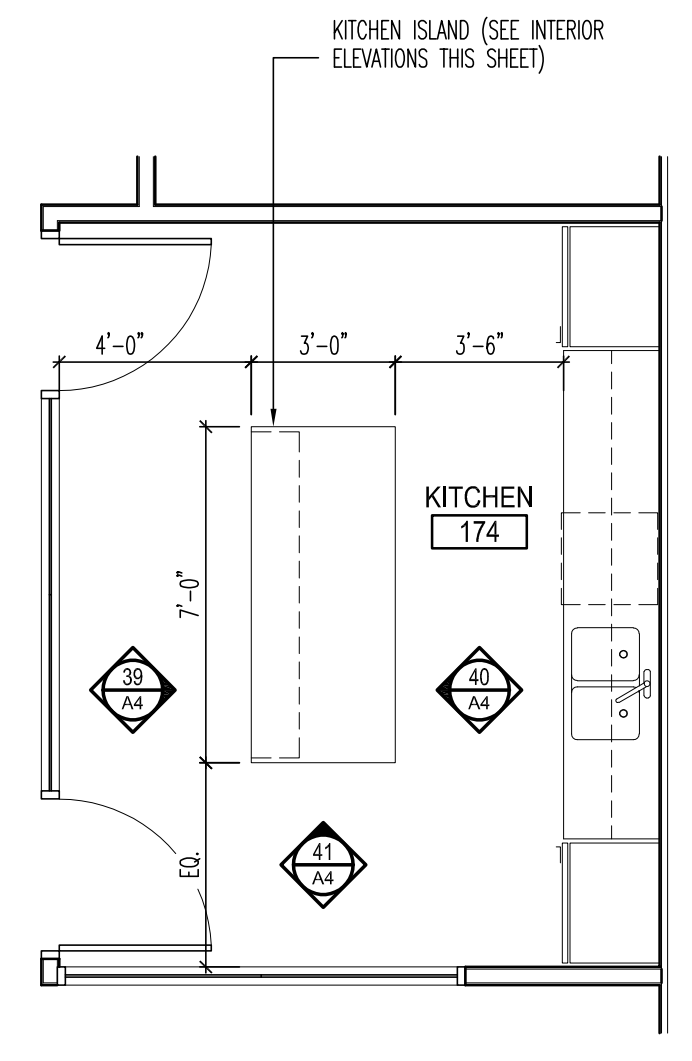
36 MEETING RM. (RM.113) ACCENT WALL SECTION
SCALE: 1/2" = 1'-0"



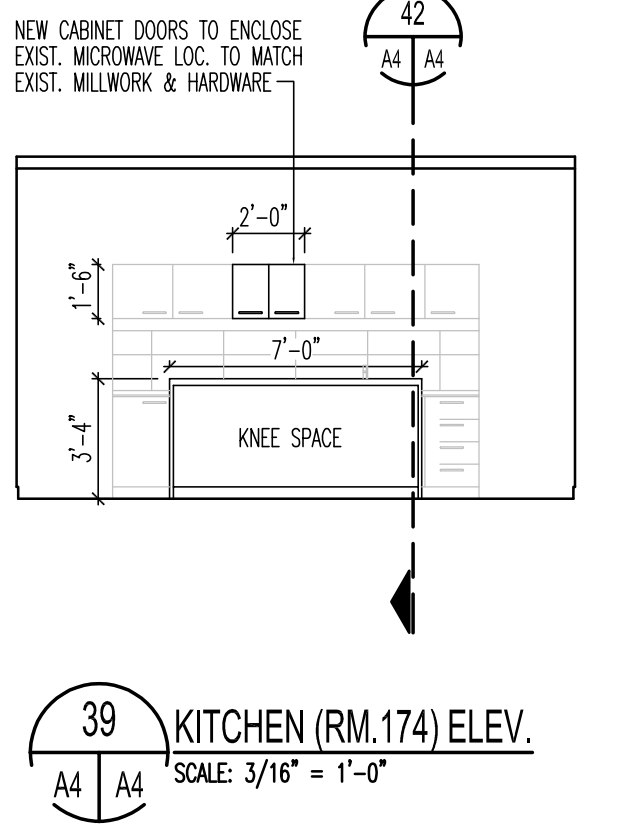
37 CAFETERIA (RM.132) ACCENT WALL ELEV.
SCALE: 1/2" = 1'-0"



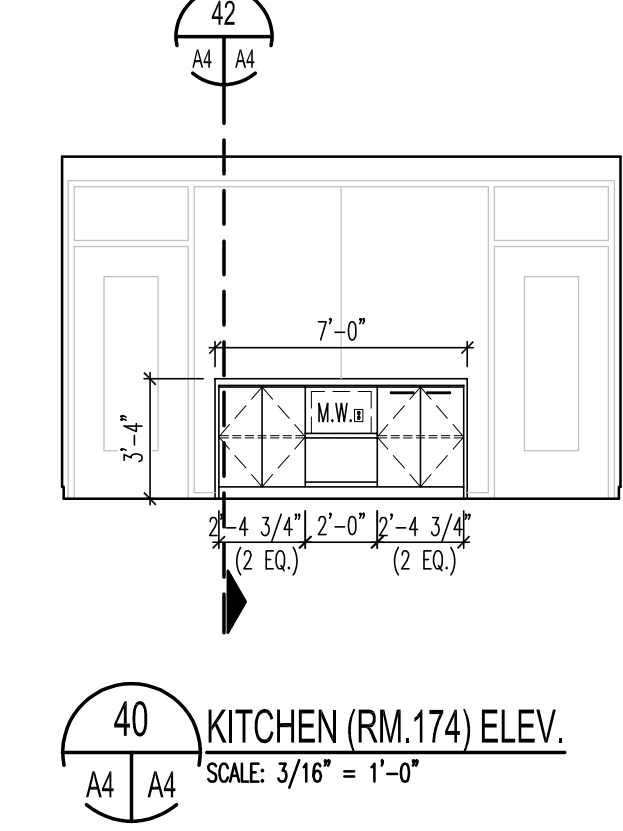
38 CORRIDOR (RM.103) ACCENT WALL ELEV.
SCALE: 1/2" = 1'-0"



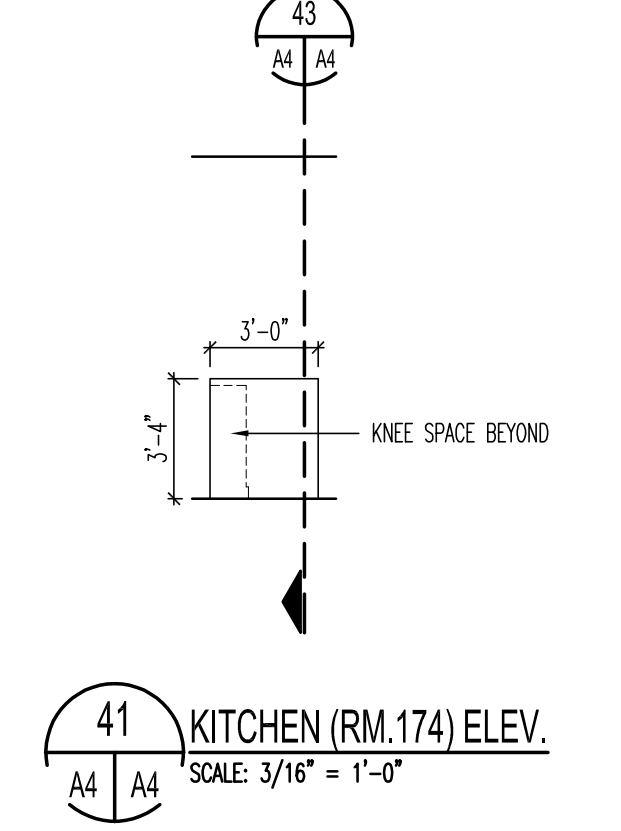
KITCHEN (RM. 174) MILLWORK PLAN
SCALE: 1/4" = 1'-0"



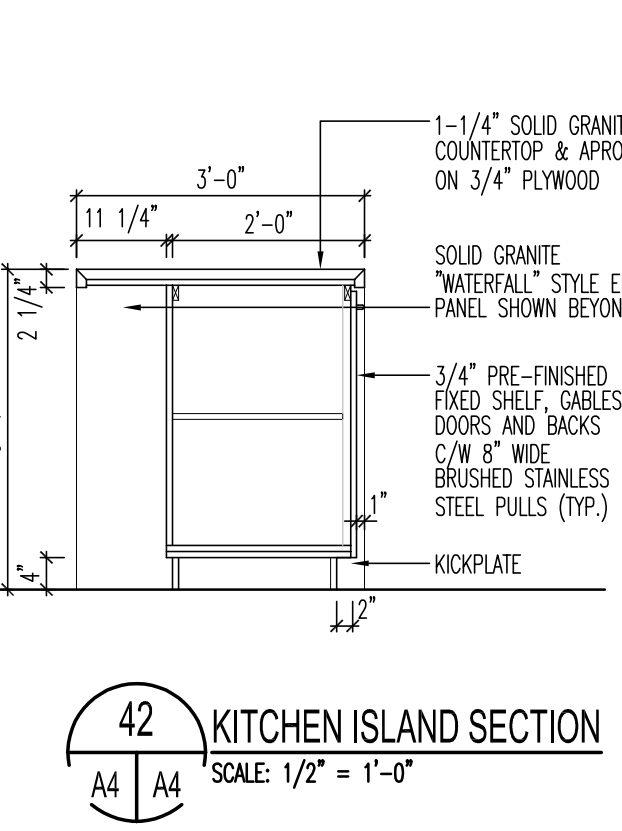
40 KITCHEN (RM.174) ELEV.
SCALE: 3/16" = 1'-0"



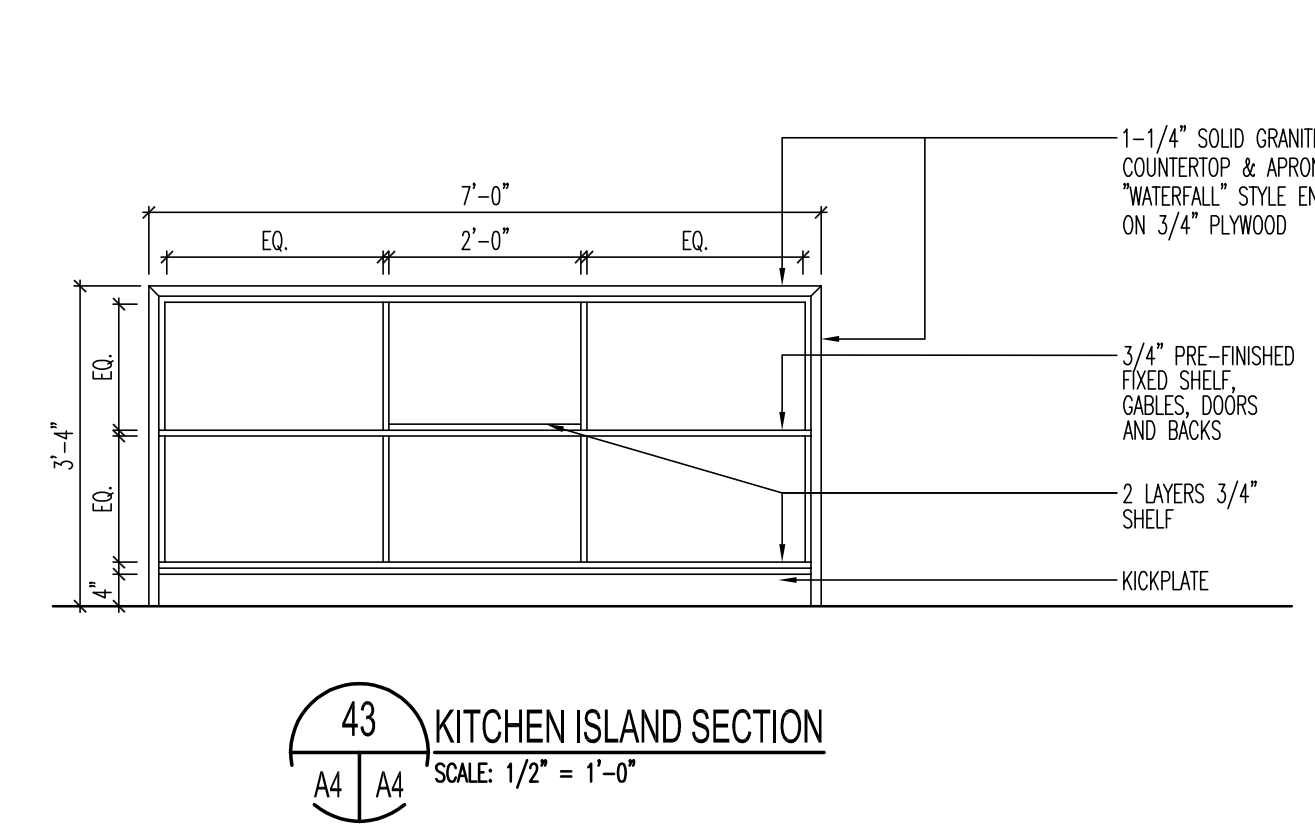
41 KITCHEN (RM.174) ELEV.
SCALE: 3/16" = 1'-0"



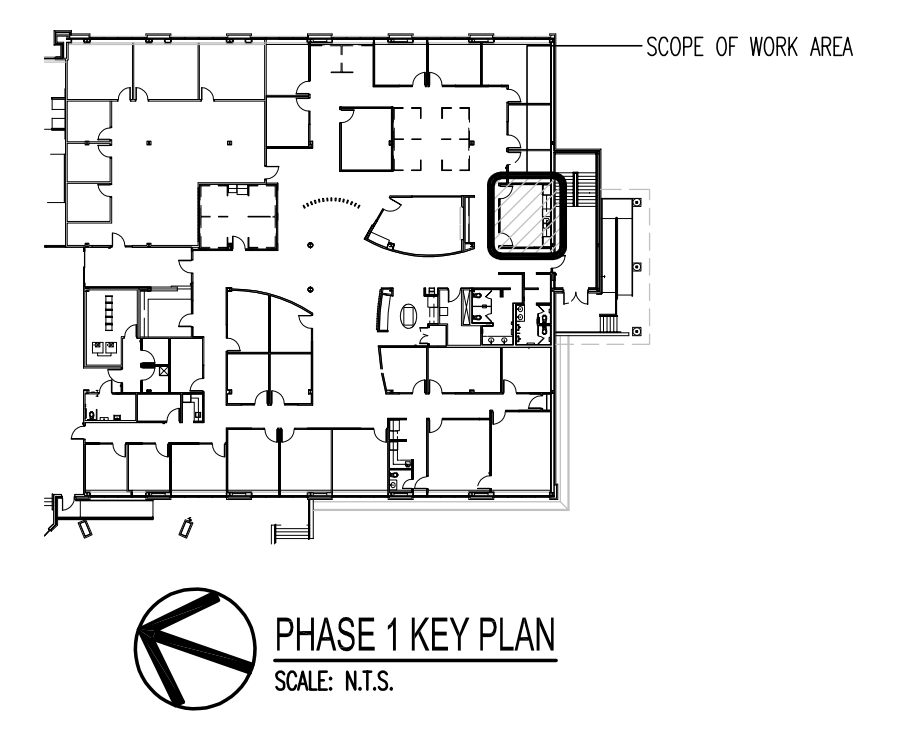
42 KITCHEN (RM.174) ELEV.
SCALE: 3/16" = 1'-0"



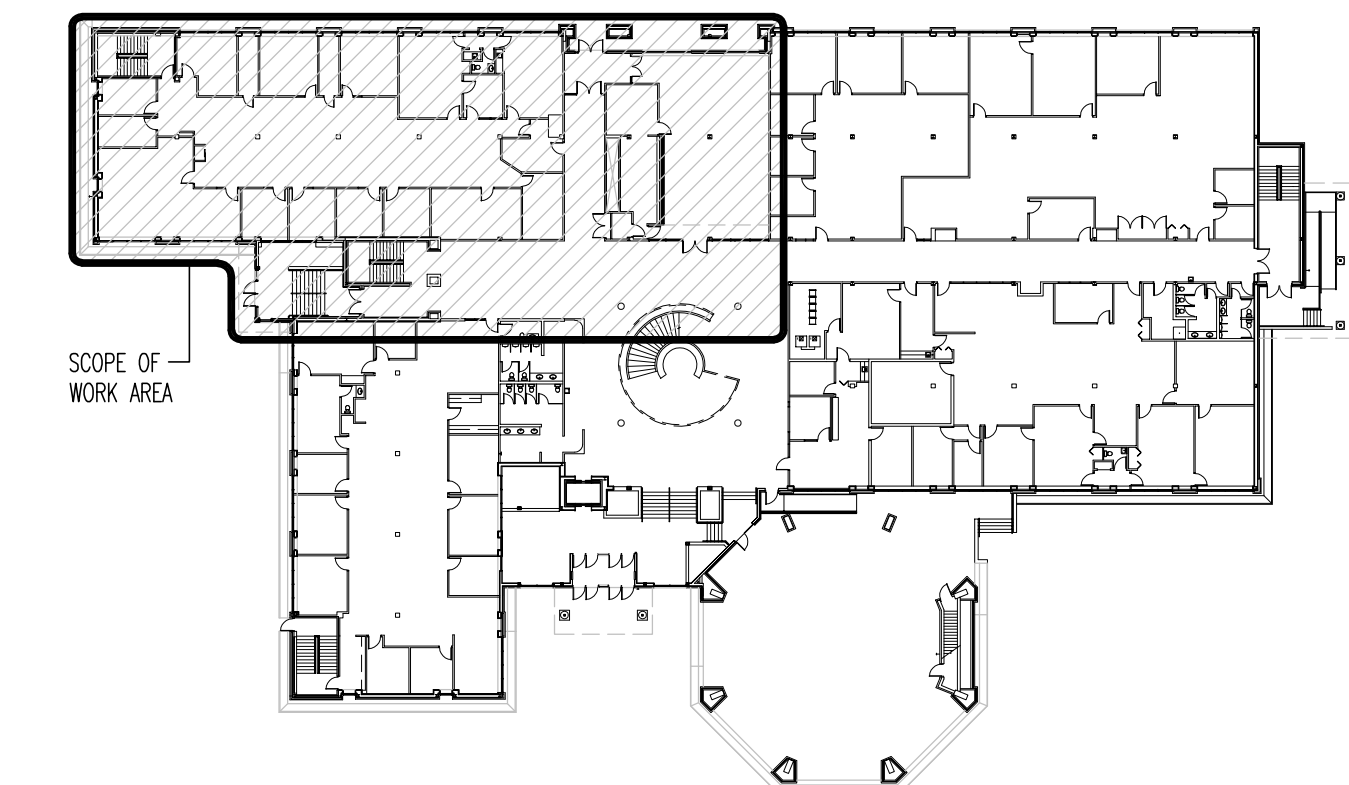
43 KITCHEN ISLAND SECTION
SCALE: 1/2" = 1'-0"



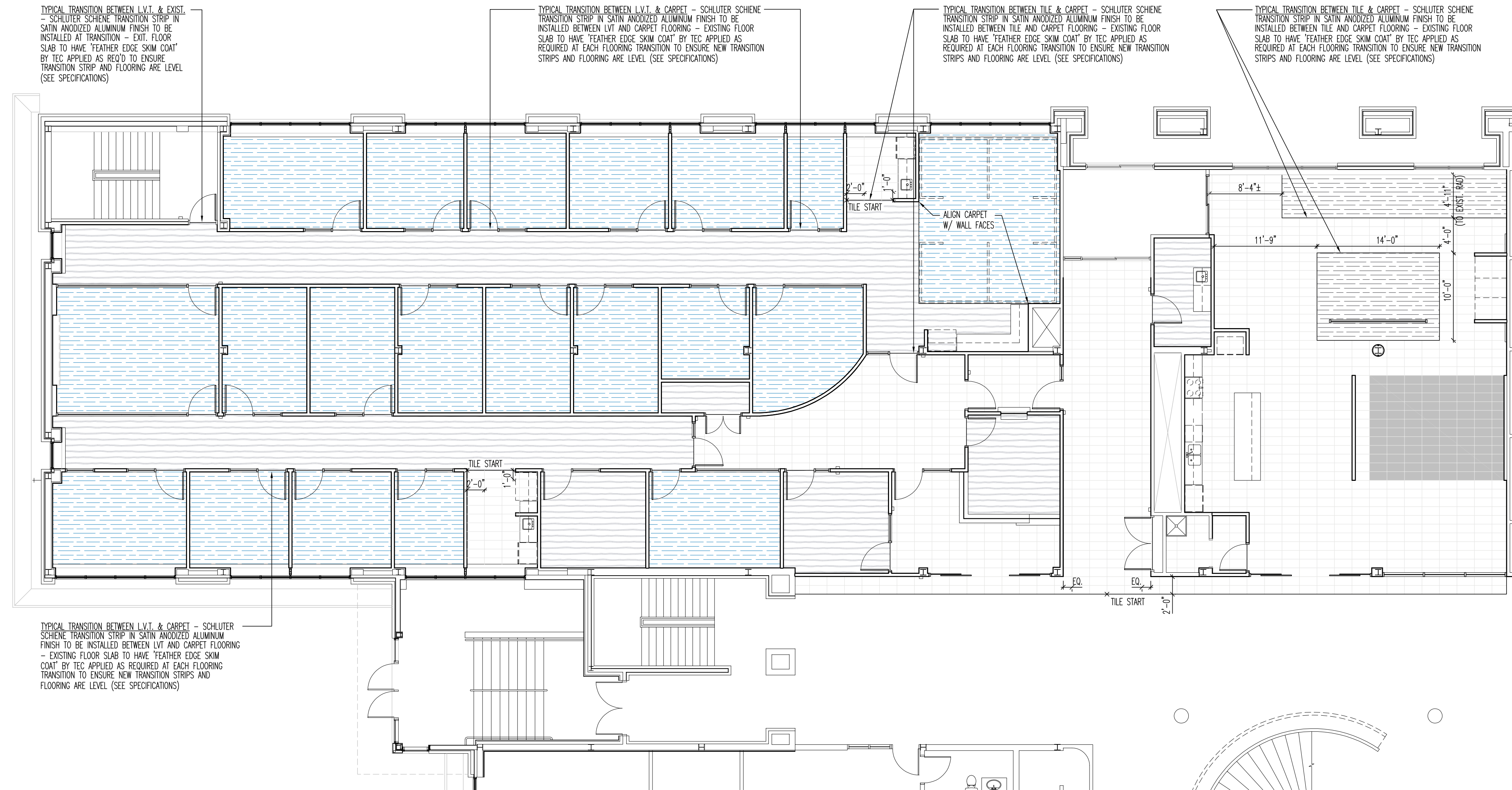
44 KITCHEN ISLAND SECTION
SCALE: 1/2" = 1'-0"



PHASE 1 KEY PLAN
SCALE: N.T.S.



FIRST FLOOR KEY PLAN
SCALE: N.T.S.



FLOOR PATTERN LAYOUT
SCALE: 1/8" = 1'-0"

COLOUR & MATERIAL LEGEND	
CARPET TILE	PAINT
CARPET TILE COLOUR 75174 MEMORIAL (QUARTER TURN) BY VENTURE CARPETS	WALL FIELD COLOUR SHERWIN-WILLIAMS PAINT: REPOSE GRAY SW 7015
CARPET TILE COLOUR 15317 MONUMENT (QUARTER TURN) BY VENTURE CARPETS	WALL ACCENT COLOUR NO.1 SHERWIN-WILLIAMS PAINT: PEPPER CORN SW 7674
LUXURY VINYL TILE	WALL ACCENT COLOUR NO.2 SHERWIN-WILLIAMS PAINT: GAUNTLET GRAY SW 7019
SONATA LUXURY VINYL TILE CNC-02 LIGHT GREY BY CENTURA	WALL ACCENT COLOUR NO.3 SHERWIN-WILLIAMS PAINT: NEEDLEPOINT NAVY SW 0032
CERAMIC TILE	WALL ACCENT COLOUR NO.4 SHERWIN-WILLIAMS PAINT: ATTITUDE GRAY SW 7060
CERAMIC TILE LIGHT FLOOR COLOUR VIT947237 WHITE FROM URBANCRETE SERIES	WALL ACCENT COLOUR NO.5 SHERWIN-WILLIAMS PAINT: LABRADORITE SW 7619
CERAMIC TILE DARK FLOOR COLOUR VIT947236 MINK FROM URBANCRETE SERIES	
CERAMIC TILE FIELD WALL COLOUR BLANCO (EMOGABL) FROM GALAXY SERIES	
CERAMIC TILE ACCENT WALL COLOUR GRIS (EMOGAGR) FROM GALAXY SERIES	